



**COASTAL PERMIT ADMINISTRATOR
STAFF REPORT- CDP_STANDARD**

**JUNE 23, 2016
CDP_2015-0025**

SUMMARY

OWNER: JACKSON RANCHERIA DEVELOPMENT
12222 NEW YORK RANCH RD
JACKSON, CA 95642

APPLICANT: JACKSON RANCHERIA
PO BOX 1090
JACKSON, CA 95642

AGENT: WYNN COASTAL PLANNING
703 N MAIN ST
FORT BRAGG, CA 95437

REQUEST: Standard Coastal Development Permit for repair and replacement of existing structures and construction of a new outdoor picnic/seating area at 5920 and 5926 South Highway 1 in Elk, California. The structures include the Greenwood Inn, White House (Proprietor's Residence and Office), Cliff House Unit, North Sea Castle and South Sea Castle and associated decks and a boardwalk. The repair or replacement projects include: foundation replacement (including drilling new piers), walls, siding, windows, doors, roofing, electrical and plumbing.

DATE DEEMED COMPLETE: February 3, 2016

LOCATION: In the Coastal Zone, located on the west side of Highway 1 in the Town of Elk, approximately 2100 feet north of its intersection with Philo-Greenwood Road. 5920 and 5926 South Highway 1, Elk; APN 127-181-12 and 127-181-14.

TOTAL ACREAGE: 1.67 (combined acreage of both parcels)

GENERAL PLAN: RV:U

ZONING: RV:40K

SUPERVISORIAL DISTRICT: 5

ENVIRONMENTAL DETERMINATION: CEQA Class 1 exemption

RECOMMENDATION: Approve with Conditions

STAFF PLANNER: BILL KINSER

BACKGROUND

PROJECT DESCRIPTION: The project is the repair and replacement to existing structures and construction of a new outdoor picnic/seating area at the Greenwood Inn, White House (Proprietor's Residence and Office), Cliff House Unit, North Sea Castle and South Sea Castle and associated decks and a boardwalk. The structural repair or replacement include: foundation replacement (including drilling new piers), walls, siding, windows, doors, roofing, electrical and plumbing. In addition the project would include a new outdoor picnic/seating area developed on an existing landscaped area within the development.

APPLICANT'S STATEMENT: Request for repair or replacement to existing structures located within 50 feet of the bluff top as follows (See structure ID map for location of each unit):

- Greenwood Inn – Repair or replace foundation (includes drilling some new piers), siding, windows, doors, roofing, electrical, and plumbing. Existing footprint of structures to remain the same, All work will match existing elevations.
- White House (Proprietor's Residence and Office) – Remodel and repair west wall and sheer wall per structural plan. Repair or replace siding as needed, windows, doors, roofing, electrical, and plumbing.
- Cliff House Unit – Repair or replace siding as needed, windows, doors, roofing, electrical, and plumbing. Existing footprint of structures to remain the same. All work will match existing elevations.
- North Sea Castle – Repair or replace siding as needed, windows, doors, roofing, electrical, and plumbing. Existing footprint of structures to remain the same. All work to match existing elevations.
- South Sea Castle – Repair or replace siding as needed, windows, doors, roofing, electrical, and plumbing. All work will match existing elevations.
- Replace exterior decks located on the westerly portion of the structures below. Note: New decks will be reconstructed in the exact same location as the existing decks. New decks will be the exact same size as existing decks.
 - Castle Unit;
 - Cliff House;
 - White House (Proprietor's Residence and Office) including boardwalk along bluff edge; and
 - Greenwood Inn.

Create outdoor picnic/seating area between Tower Studio and the White House (Proprietor's Residence).

RELATED APPLICATIONS:

On-Site and Neighboring Property

- Use Permit U 137-73, submitted on November 12, 1973, approved by the Planning Commission on February 8, 1974, allowed a 12-foot by 48-foot porch addition along the south side of the existing cafe for a five year term, subject to provision of ten parking spaces, a three-foot planter along the building frontage, and repair of a wooden well cover. The permit expired in 1978.
- Use Permit U 130-75, submitted on September 5, 1975, approved by the Zoning Administrator on October 9, 1975, allowed a 12-foot by 16-foot addition to the cafe to house two bathrooms and a storeroom. The permit expired in 1978.
- Use Permit U 141-81, submitted on November 18, 1981, approved by the Planning Commission on February 18, 1982, provided for the conversion of an existing single family residence to a five

unit inn, including the addition of a second story to the residence, six off-street parking spaces, and a 35 square-foot sign.

- Preliminary Approval PA 82-09, submitted February 18, 1982, approved February 25, 1982, subject to final approval of Use Permit U 141-81, for the conversion of a residence to an inn.
- Preliminary Approval PA 83-52, submitted on July 14, 1983, approved on July 15, 1983, for replacement of a single family residence destroyed by fire.
- Variance V 14-83, submitted on August 16, 1983, denied by the Zoning Administrator on October, 27, 1983, requested reduced front and side-yard setbacks for the replacement of the burned dwelling. The denial was based on the fact that there was room on the site to comply with required setbacks.
- Use Permit U 4-86, submitted on January 22, 1986, approved by the Planning Commission on March 20, 1986, allowed conversion of an existing residence into a retail gift shop and two visitor units, signs, and the construction of a new two unit structure, subject to parking and landscaping plans, drainage controls, and a geologic report. Local Coastal Plan Consistency Review LCP 86-53, was approved May 13, 1986, for the development allowed by Use Permit U 4-86. Coastal Development Permit CDP 1-86-90, issued by the Coastal Commission on June 11, 1986, permitted the development allowed by Use Permit U 4-86.
- Use Permit U 37-87, submitted on July 23, 1987, approved by the Planning Commission on November 5, 1987, allowed a single visitor unit to be developed in a structure initially built as a water tower, subject to conditions regarding sewage disposal and parking. The permit was never implemented and has expired because sewage disposal requirements could not be met.
- Use Permit U 29-90, submitted on June 26, 1990, approved by the Planning Commission on February 7, 1991, allowed a dilapidated residence to be demolished and replaced with a retail shop specializing in plants and garden related items, subject to conditions regarding driveway surfacing, a boundary line adjustment or casement for parking, sewage disposal and drainage controls. Local Coastal Plan Consistency Review LCP 91-40, was approved on April 4, 1991, for the development allowed by Use Permit U 29-90.
- Boundary Line Adjustment B 102-91, submitted on August 6, 1991, approved by the Minor Subdivision Committee on August 23, 1991, appealed to the Planning Commission and upheld on November 21, 1991, completed on February 11, 1992, merged Mr. Petty's five parcels into two. In denying the appeal, the Planning Commission directed that staff review permits and report back to the Commission.
- Planning Commission review of previous permits, March 5, 1992. The Planning Commission determined that (1) Use Permits U 137-73 and U 130-75 for cafe expansion had expired; (2) Parking spaces for Greenwood Pier Country Store with guest units and Sea Castle guest units required by Use Permit U 4-86 had not been provided; (3) Parking cannot be allowed over septic systems, and applicant must submit new use permit application for cafe expansion by June 30, 1992, and staff to initiate proceedings for modification of Use Permits U 4-86 and U 29-90.
- Use Permit U 22-92, submitted on June 30, 1992, approved by the Planning Commission on May 20, 1993, allowed a number of modifications to the applicant's facilities, some in response to the Planning Commission's directive, and others at the request of the applicant, subject to an extensive list of conditions. U-22-92 was modified by U-22-92/97 allowed for an existing residence to remain; a septic leach field area to be provided off-site; conversion of the "Tower Studio" to a visitor serving facility; expansion of upstairs units; installation of water tanks, irrigation well, commercial hot tub; and a variance (see V-18-98).
- Coastal Boundary Line Adjustment CDB 2-93 and Coastal Minor Subdivision CDMS 3-93, submitted on January 13, 1993, for property on the east side of Highway 1, were withdrawn on January 19, 1995.
- Coastal Development Permit CDP 57-93, submitted on July 8, 1993, issued August 1, 1994, permitted improvements allowed by Use Permit U 22-92, including: an addition to the Cliff House; an addition to the Garden Cottage; and addition to the Cafe; conversion of the Tower Studio into a

visitor unit; expansion of the two upstairs units in the Main Inn Building; demolition of the White House; additional parking spaces; and water tanks.

- Immaterial Amendment to Coastal Development Permit CDP 57-93, approved by the Coastal Permit Administrator on August 3, 1994, allowed cafe to be demolished and replaced and the Garden Cottage and Cliff House to be modified and enlarged.
- Coastal Development Permit CDP 10-95, submitted on March 1, 1995, approved by the Coastal Permit Administrator on December 20, 1995, but never issued, requested a permit to move an existing residence from the west side of the highway to a parcel on the east side. Prior to approval, the application was modified to request construction of a new residence on the east side of the highway rather than relocate the existing residence.
- Coastal Development Boundary Line Adjustment CDB 12-95, submitted on March 1, 1995, approved by the Coastal Permit Administrator on September 29, 1995, but not yet completed, would adjust boundaries among three parcels on the east side of Highway 1, one of which is the parcel approved to be used for off-site parking by V 18-98.
- Emergency Permit EM 6-96, approved by the Planning Director on September 5, 1996, provided for sewage effluent from five parcels along the east side of Highway 1 to be collected and pumped to a common leach field area approximately 1,700-feet east of highway on land owned by the Li Foo Alliance. The emergency permit was necessary to prevent contamination of surface water by inadequate disposal systems.
- Variance V-18-98, approved by the Planning Commission on March 2, 2000, allowed for two off-site parking spaces to satisfy parking requirements for the inn. One of the required spaces is for a residence and it may be located in the front yard. PBS is to review and approve a revised parking plan and an easement is to be recorded.
- Coastal Development Permit CDP 2014-0036, submitted on October 10, 2014 and approved on July 30, 2015, for an off-site leach field located east of Highway 1.
- Coastal Development Permit CDP 2015-0024, submitted on September 24, 2015 proposes installation of septic infrastructure on Lands of Griffin House, Lands of Greenwood Pier Inn, and Lands of Li Foo, disconnect development on Lands of Griffin House from its obsolete septic infrastructure and connect to new infrastructure.
- Coastal Development Permit CDP 2015-0004, to install new septic components to serve the existing uses and to install a new force line in preparation for a future connection to an off-site leach field.

SITE CHARACTERISTICS: The two blufftop properties encompass approximately 1.67 acres and are located on the west side of Highway 1 in the Town of Elk. Both properties are extensively developed. The northern parcel (APN: 127-181-12) contains the Country Store, Sea Castle (2 guest units), Cliff House (1 guest unit), Garden Cottage (1 guest unit) a store with 2 units, twenty-one parking spaces, and associated decking, accessory buildings, walkways and landscaping. The southern parcel (APN: 127-181-14) houses the Greenwood Pier Café, Tower Studio (1 guest unit), Inn (5 guest units), Proprietors Residence with Lodging Office, Staff Residence and Storage, thirteen parking spaces, accessory buildings and facilities, walkways and landscaping.

The two properties slope gently from Highway 1 to the west and southwest bluff edges. The ocean bluff at the property is approximately 120 feet in vertical height. The lower, approximately $\frac{3}{4}$ of the bluff is near vertical while the upper $\frac{1}{4}$ of the bluff slopes steeply at about one horizontal to one vertical (1H:1V) to 1.5H:1V. The edge of the near-vertical bluff is approximately 35 feet downslope from the defined bluff edge.

SURROUNDING LAND USE AND ZONING:

	GENERAL PLAN	ZONING	LOT SIZES	USES
NORTH	Rural Village	Rural Village	0.4 ACRE	Hotels, Motels (16)
EAST	Rural Village	Rural Village	< 1.0 ACRE	Church (71), single family residential (01)
SOUTH	Open Space	Open Space	9.5 ACRES	Open Space, Office (13)
WEST	Pacific Ocean	Pacific Ocean	NA	Pacific Ocean

PUBLIC SERVICES:

Access: South Highway 1
 Fire District: Elk Community Service District
 Water District: Elk County Water District
 Sewer District: NA
 School District: Mendocino Unified

AGENCY COMMENTS: On February 3, 2016, project referrals were sent to the following responsible or trustee agencies with jurisdiction over the Project. Their required related permits, if any, are listed below. Their submitted recommended conditions of approval are contained in Exhibit A of the attached resolution. A summary of the submitted agency comments are listed below. Any comment that would trigger a project modification or denial is discussed in full as key issues in the following section.

REFERRAL AGENCIES	RELATED PERMIT	COMMENT	DATE
Department of Transportation		Comment	2/22/2016
Environmental Health - FB		No Comment	2/18/2016
Building Services - FB		No Comment	3/1/2016
Planning - Ukiah		No Comment	2/8/2016
Assessor		No Response	
Archaeological Commission		Comment	3/9/2016
US Fish and Wildlife Service		No Response	
Caltrans		No Response	
CalFire		No Response	
Department of Fish and Wildlife		Comment	5/5/2016
Coastal Commission		No Response	
Department of Parks and Recreation		No Response	
Elk Community Services District		Comment	2/14/2016
Elk County Water District		No Response	

KEY ISSUES

1. General Plan and Zoning Consistency:

Land Use. The project complies with the general plan goals and objectives for RV designated lands, as set forth in Chapter 2, *Section 2.2 Description of Land Use Plan Map Designations Rural Village - Coastal*, of the Coastal Element, Mendocino County General Plan and in Chapter 4, *Section 4.10 Navarro River to Mallo Pass Creek Planning Area*, of the Coastal Element, Mendocino County General Plan.

Section 2.2 of the Coastal Element lists the intent of the Rural Village - Coastal land use designation to "preserve and maintain the rural atmosphere and visual quality of ... Elk... and to provide a variety of

community-oriented neighborhood commercial services ...” The proposal is for repair and replacement of existing structures and construction of a new picnic/seating area in a long established commercial facility in the Town.

Coastal Element Policy 4.10-1 states “Elk shall be designated a Rural Village, with residential, commercial, and cottage industry uses limited mainly by sewage disposal standards. Additional overnight accommodation units shall be limited to 20 and commercial floor area limitations shall be set to keep visitor serving uses in scale with community size.” This application does not propose to increase the number of overnight accommodation units on either property; rather it proposes repair and replacement of existing buildings and structures.

Zoning. Section 20.388.005 of the Mendocino County Coastal Zoning Code (MCC) states that the intent of the Rural Village district is “to preserve and maintain the character of the rural atmosphere and visual quality of existing coastal rural villages, to provide a variety of community-oriented neighborhood commercial services, and to provide and allow for mixed residential and commercial activities.” Rural Village district regulations establish uses, lot area, dwelling density, yard setbacks, height limits, lot coverage, and lot depth requirements. The proposed request is for repair and replacement of existing structures in the same footprint and matching existing elevations. The request is consistent with the purpose and intent of the Rural Village district regulations.

2. Local Coastal Program (LCP)

The Local Coastal Program (LCP) sets goals and policies for managing resource protection and development activity in the Coastal Zone of Mendocino County, an area that extends from the Humboldt County line to the Gualala River. The LCP addresses topics such as shoreline access and public trails; development in scenic areas, hazardous areas, and coastal bluffs; environmentally sensitive habitat areas; cultural resources; transportation; public services; and more. The LCP serves as an element of the General Plan and includes the Mendocino County Code (MCC), and its policies must be consistent with the goals of the California Coastal Act.

Hazards. Mendocino County Coastal Element Chapter 3.4, titled Hazards Management, addresses seismic, geologic and natural forces within the Coastal Zone and Section 20.500 of the MCC (Hazard Areas) provides regulations for those areas. The purpose of the regulations is to insure that development in Mendocino County’s Coastal Zone “shall (1) Minimize risk to life and property in areas of high geologic, flood and fire hazard; (2) Assure structural integrity and stability; and (3) Neither create nor contribute significantly to erosion, geologic instability or destruction of the site or surrounding areas, nor in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.”

The applicant submitted a report titled *Geotechnical Investigation Planned Near Bluff-Edge Structural Improvements Greenwood Pier Inn and Griffen House Inn 5926 and 5910 South Highway 1 Elk, California* (Brunsing Associates, Inc., 2015). The Geotechnical Report evaluated the geologic hazards at the site including bluff stability and retreat (erosion) rate, fault rupture potential, effects of sea-level rise, and seismicity. The work was limited to structures located within 50 feet of the bluff edge. The Geotechnical Investigation concluded that “Based on the results of our analysis, including consideration of potential settlement, liquefaction, fault rupture, bluff stability, bluff retreat rate, future sea level rise and tsunami hazard ... the site is geotechnically suitable for the proposed improvements (Brunsing Associates, Inc., 2015).”

The Geotechnical Investigation provided recommendations for (1) bluff setbacks, (2) site grading, (3) foundations, (4) seismic design, (5) concrete slabs-on-grade, and (6) site drainage (Brunsing Associates, Inc., 2015). The Geotechnical Investigation’s recommendations are incorporated in the conditions of approval for the project. Adherence to these recommendations during construction will ensure consistency with Mendocino County Coastal Element Chapter 3.4 (Hazards Management) and Section 20.500 of the MCC (Hazard Areas). In addition, as a condition of approval, it is recommended that the applicant as landowner execute and record a deed restriction, in a form and content acceptable to the Coastal Permit Administrator and County Counsel, which shall address issues related to the geologic and erosion hazards

of the site and the landowner's assumption of the risk from such hazards.

Archaeological or Paleontological Resources. MCCZC Section 20.532.095(A)(5) requires that the granting or modification of any coastal development permit shall be supported by findings which establish that the proposed development will not have any adverse impacts on any known archaeological or paleontological resource. The applicant prepared *An Archaeological Survey for a Septic Repair Project for the Harbor and Griffen Houses in Elk, California* (Van Bueren, 2014), which was reviewed and accepted by the Mendocino County Archaeological Commission at a public hearing on March 9, 2016. In addition to the standard "discovery clause", the Archaeological Commission recommended that due to the "pier/piling development and the potential for historical resources, it is recommended that a historian determine which excavation and/or boring locations are sensitive and warrant the presence of a historian during the time of actual excavation/boring."

The recommendations of the Archaeological Commission are included in the conditions of approval for the project. Compliance with the Archaeological Commission's recommendations will ensure consistency with MCC Section 20.532.095(A)(5) required findings for impacts on any known archaeological or paleontological resource.

Environmentally Sensitive Habitat Areas. The certified Mendocino County Local Coastal Program (LCP) includes sections of both the Coastal Element of the General Plan (and the MCC (Section 20.496) addressing Environmentally Sensitive Habitat Areas (ESHA). MCC Section 20.496.015 states that development having the potential to impact an ESHA shall be subject to a biological survey, prepared by a qualified biologist, to determine the extent of sensitive resources, to document potential negative impacts, and to recommend appropriate mitigation measures.

The applicant submitted a *Biological Scoping Survey Report for Jackson Rancheria's Greenwood Pier Inn 5914, 5929 & 5926 South Highway One (APNs 127-181-12 & 127-181-14) Elk, CA Mendocino County* (Spade Natural Resource Consulting (SNRC) 2015). The purpose of the scoping survey was "to determine the potential for presence of special-status plant and plant communities, wetland and riparian areas, and special-status animal habitat. A special status plant community, Sitka willow thickets – *Salix sitchensis* Provisional Shrubland Alliance (G4 S3), which is also a riparian area and surrounds a stream, was identified within 100 feet of the project area, near proposed deck repairs, roof and siding repairs for two buildings, and the proposed outdoor seating area (SNRC 2015)." The survey also noted a low potential for presence of special status frogs, including Federally Endangered California red-legged frog and California Species of Special Concern northern red-legged frog. A reduced buffer analysis was prepared to address developments located within 100 feet of the willow riparian area. The report concluded that there is a low potential for impacts to special status wildlife species.

The recommended Biological Scoping Survey Report avoidance measures to protect the Sitka willow riparian area and stream and special status frogs (SNRC 2015) are included in the conditions of approval for the project. California Department of Fish and Wildlife concurred "that adhering to the Avoidance Measures as outlined in the [Biological Scoping] Report will minimize or avoid the risk of potential impacts of the project on special status species and sensitive natural communities, and recommend[ed] that the measures are included as enforceable conditions of approval for CDP #2015-0025." With implementation of the recommended avoidance measures, the proposed project will not degrade an environmentally sensitive habitat or resource area and shall be compatible with the continuance of such areas, pursuant to MCC Section 20.496.005.

3. California Environmental Quality Act (CEQA):

A Class 1 Categorical Exemption from the California Environmental Quality Act is recommended, because the project scope follows Guideline Section 15301, which provides an exemption existing facilities "for repair, maintenance, and minor alteration of existing private structures, facilities, mechanical equipment or topographical features involving negligible or no expansion of the use beyond that existing at the time of the lead agency's determination."

RECOMMENDATION

By resolution, adopt a Class 1 Categorical Exemption from the California Environmental Quality Act and grant a Coastal Development Permit for the Project, as proposed by the applicant, based on the facts and findings and subject to the conditions of approval.

5/19/2016

DATE

Bill Kinser

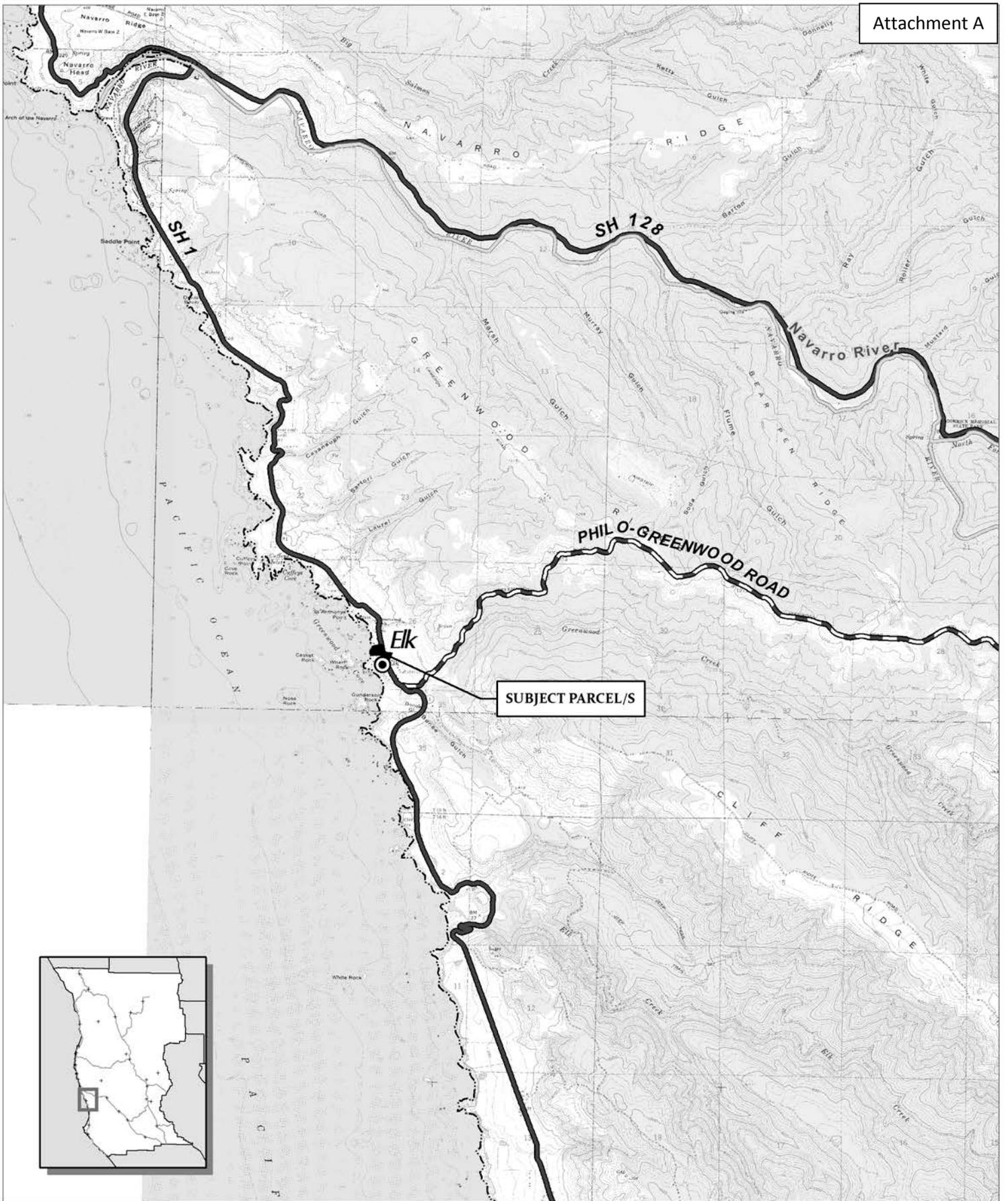
BILL KINSER

Appeal Period: 10 Days
Appeal Fee: \$1100.00

ATTACHMENTS:

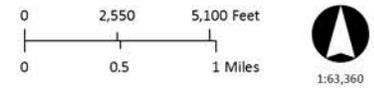
- A. Location Map
- B. Aerial Map
- C. Structure Map
- D. Site Plan
- E. Existing Floor Plan
- F. Existing Elevations
- G. Castle Floor Plan
- H. Castle Elevations
- I. Cliff House Plan
- J. White House Plan
- K. White House Elevations
- L. Inn Plan
- M. Inn Elevations
- N. Deck Framing Plan
- O. Deck Framing Plan
- P. Deck Framing Plan
- Q. Plant Communities
- R. Riparian Vegetation
- S. ESHA Buffer
- T. Geological Map
- U. Zoning Map
- V. General Plan Map
- W. LCP Plan for Elk
- X. Adjacent Owner Map
- Y. Fire Hazard Map
- Z. Materials
- AA. Materials
- BB. Materials
- CC. Materials

RESOLUTION AND CONDITIONS OF APPROVAL (Exhibit A):



CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

-  Major Towns & Places
-  Major Roads
-  Major Rivers
-  Highways



LOCATION MAP

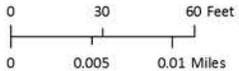
Map produced by the Mendocino County Planning & Building Services, December, 2015
 All spatial data is approximate. Map provided without warranty of any kind.



Imagery Date: 8/17/2013 39°07'54.4

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

 Public Roads



GOOGLE EARTH IMAGERY
 IMAGERY DATE: 8-17-2013

Map produced by the Mendocino County Planning & Building Services, December, 2015
 All spatial data is approximate. Map provided without warranty of any kind.

Barnett JRDC Greenwood Pier Inn Structure ID Map

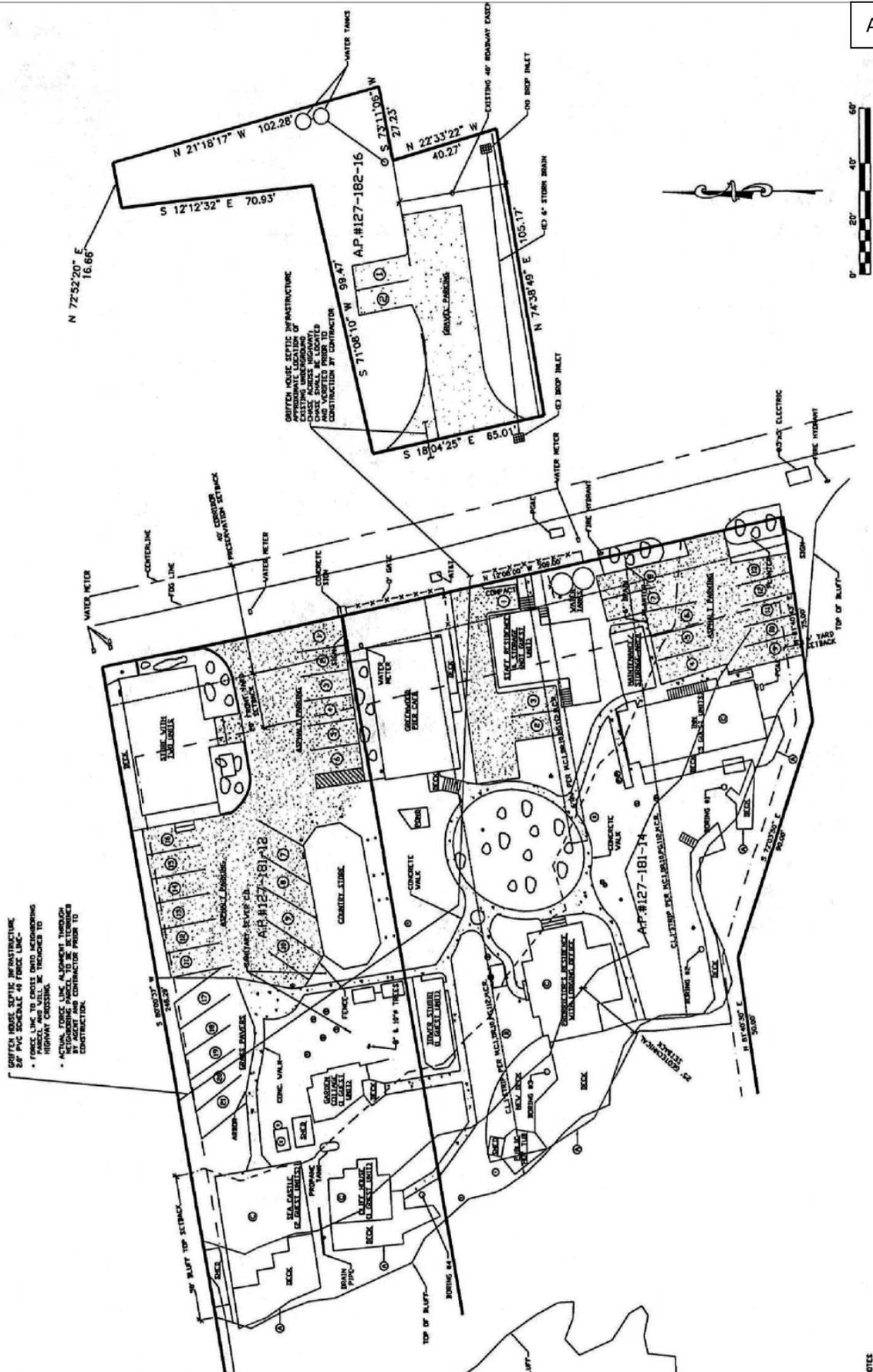


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

STRUCTURE MAP



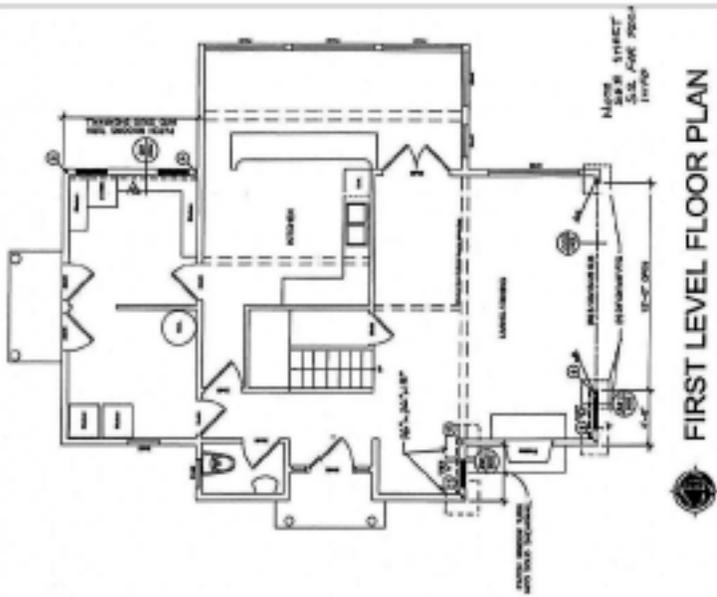
GRITTEN HOUSE SEPTIC INFRASTRUCTURE BY PVC SCHEDULE 40 FORCE MAIN. FORCE MAIN TO CROSS ONTO NEIGHBORING PARCEL, AND SHALL BE TRENCHED TO NEIGHBORING PARCEL. ALIGNMENT THROUGH NEIGHBORING PARCEL TO BE DETERMINED AND VOTED PRIOR TO CONSTRUCTION.

CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

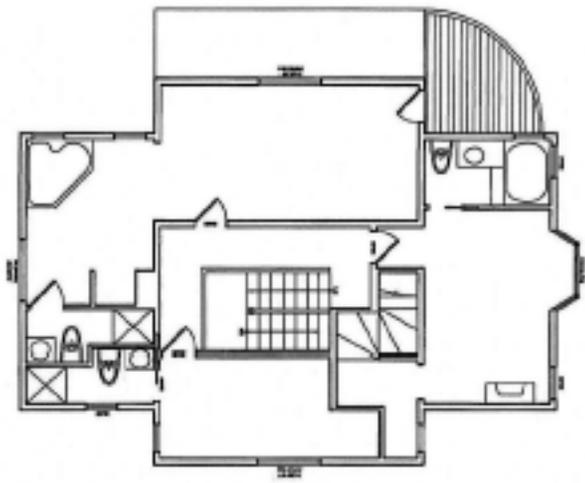
NO SCALE

SITE PLAN

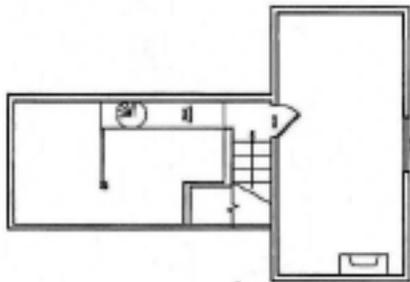
Map produced by the Mendocino County Planning & Building Services, May, 2016
 All spatial data is approximate. Map provided without warranty of any kind.



FIRST LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN



THIRD LEVEL FLOOR PLAN



CROWS NEST

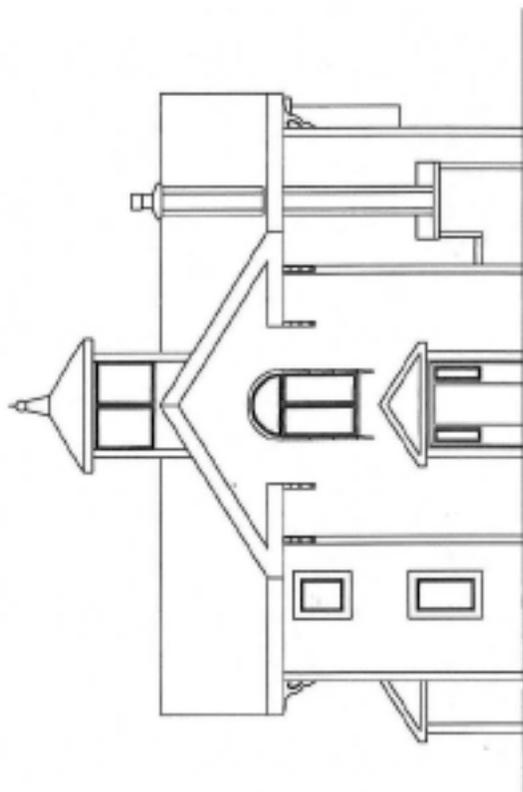
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EXISTING FLOOR PLAN

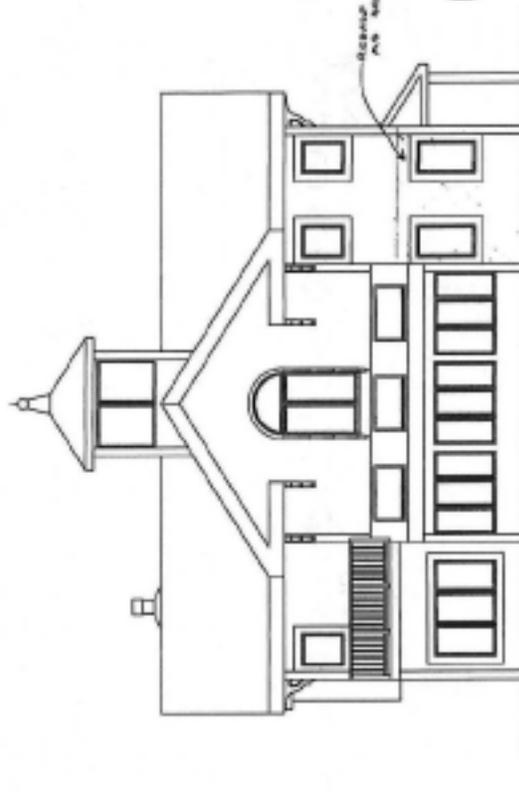
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 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

EXISTING ELEVATIONS

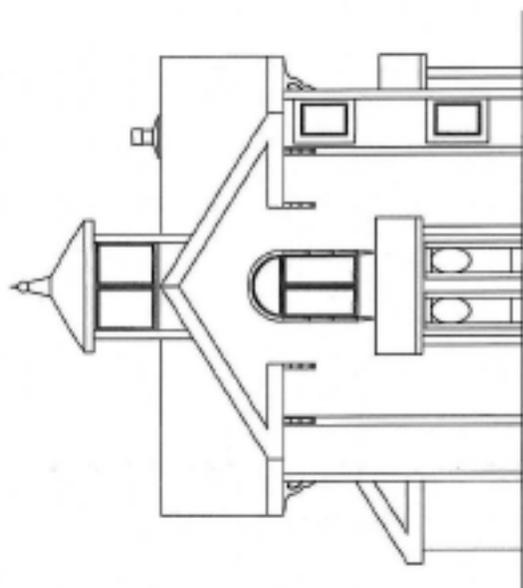
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1215 GREENWOOD DRIVE
ELI, CALIFORNIA 95924
TEL: (916) 438-1111
WWW.GREENWOODPIER.COM



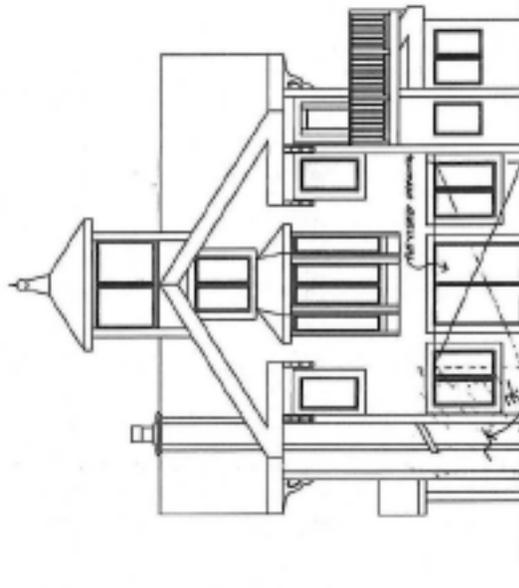
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



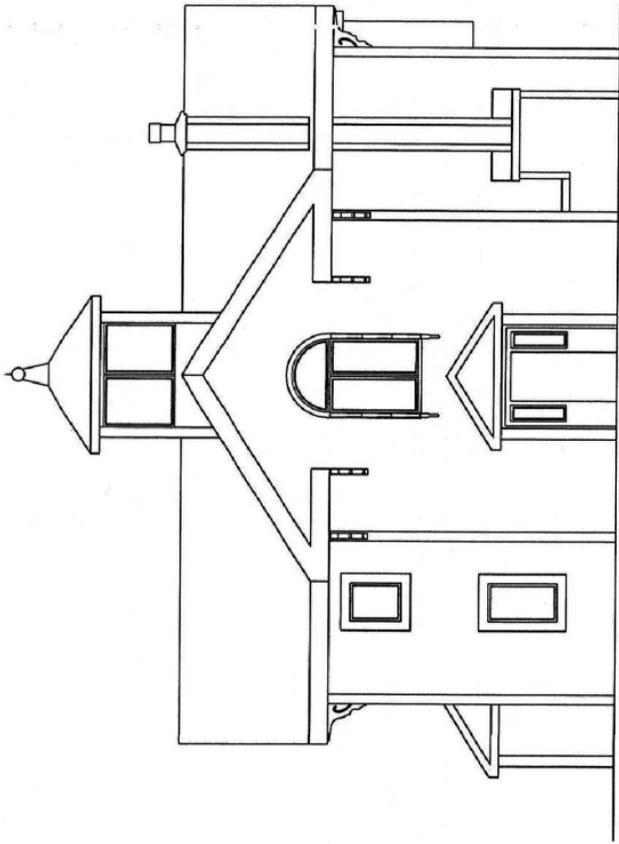
WEST ELEVATION

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

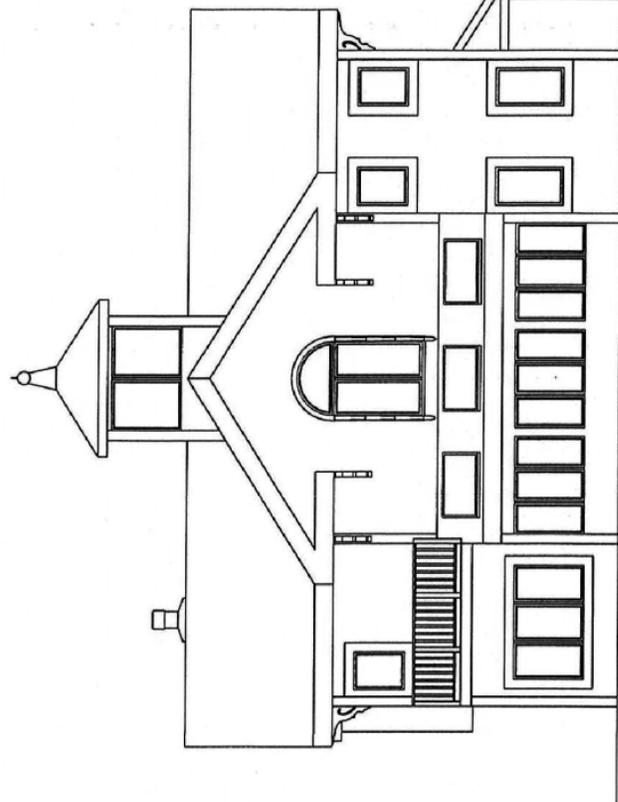
NO SCALE

EXISTING ELEVATIONS

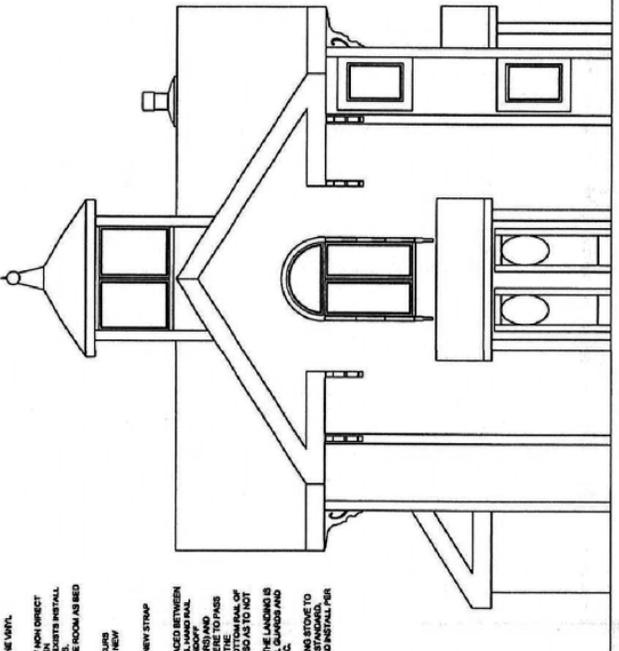
Map produced by the Mendocino County Planning & Building Services, May, 2016
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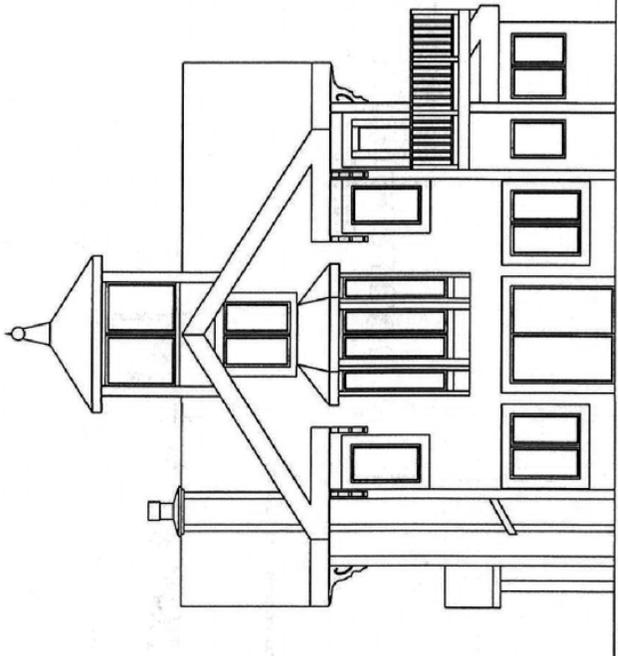
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

CONTRACTOR SHALL INCLUDE AND NOT REMOVE ANY PICTURES, BORDERS, OR OTHER DECORATIVE ELEMENTS.

VEHICLE FRAME VINYL
FINISH, IF NON-DIRECT
IN METAL
NO COOK BURNERS INSTALL
ED IN SAME ROOM AS BED
MAGE OCCURS
SALS WITH NEW
PROVIDE NEW STAMP
ALL BE PLACED BETWEEN
MULTI-BACK HAND RAIL
AT STANDARDS AND
HAT SPHERE TO PASS
AND THE BOTTOM RAIL OF
RETURNED SO AS TO NOT
WHERE THE LANDING IS
NO BURNING OBJECTS TO
HAR ACT STANDARDS
TERMS AND INSTALL PER

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

WHITE HOUSE ELEVATIONS

DATE	BY

Duncan Engineering, Inc.
 1700 Redwood Drive
 Mendocino, CA 95501
 PO Box 518
 Mendocino, CA 95501



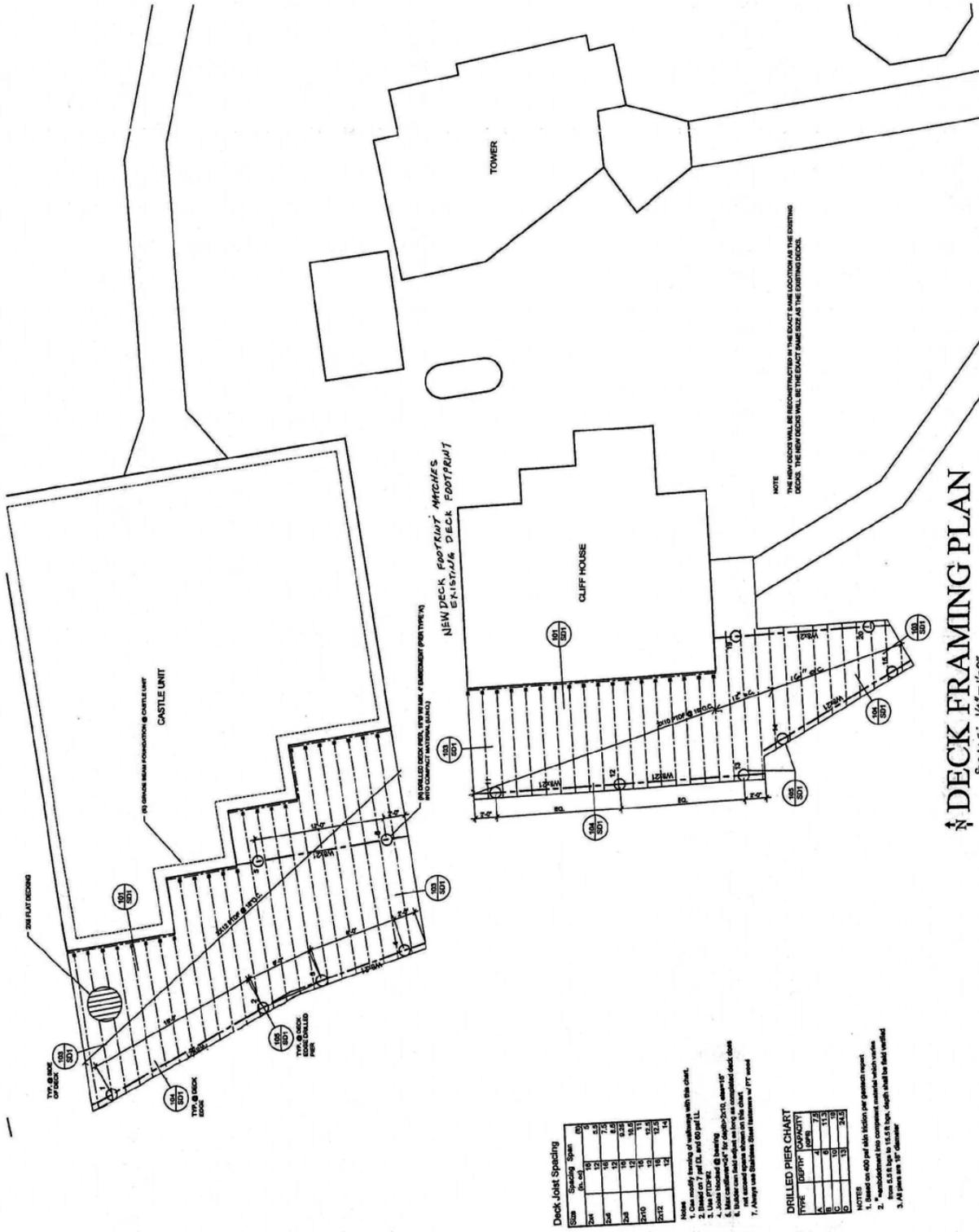
Changes to this plan by Duncan Engineering, Inc. and the Client shall be indicated by a separate sheet. This plan is intended for a specific project and shall not be used for any other project or purpose without the written consent of Duncan Engineering, Inc.

DECK FRAMING PLAN

GREENWOOD PIER
 SOUTH HIGHWAY ONE
 ELK CA

DATE	7/17/15
SCALE	AS SHOWN
NO	
DATE	
BY	

Attachment N



Deck Joist Spacing

Span	Spacing	Span	Spacing
20'	16"	5'	8"
22'	16"	7.5'	8"
24'	16"	10'	8"
26'	16"	12.5'	8"
28'	16"	15'	8"
30'	16"	17.5'	8"
32'	16"	20'	8"
34'	16"	22.5'	8"
36'	16"	25'	8"

- Notes
1. One modify spacing of walkways with this chart.
 2. Based on 4" x 8" and 6" x 8" joist.
 3. Joists located @ bearing.
 4. Max conditioned @ bearing.
 5. Max conditioned @ bearing.
 6. Max conditioned @ bearing.
 7. Always use Douglas fir treatment of PT wood.

DRILLED PIER CHART

TYPE	DEPTH	CAPACITY
A	4'	11.5
B	6'	15
C	8'	18.5
D	10'	21.5

- NOTES
1. Based on 4" x 8" and 6" x 8" joist per general report.
 2. Based on 4" x 8" and 6" x 8" joist per general report.
 3. Based on 4" x 8" and 6" x 8" joist per general report.
 4. Based on 4" x 8" and 6" x 8" joist per general report.
 5. Based on 4" x 8" and 6" x 8" joist per general report.
 6. Based on 4" x 8" and 6" x 8" joist per general report.
 7. Based on 4" x 8" and 6" x 8" joist per general report.

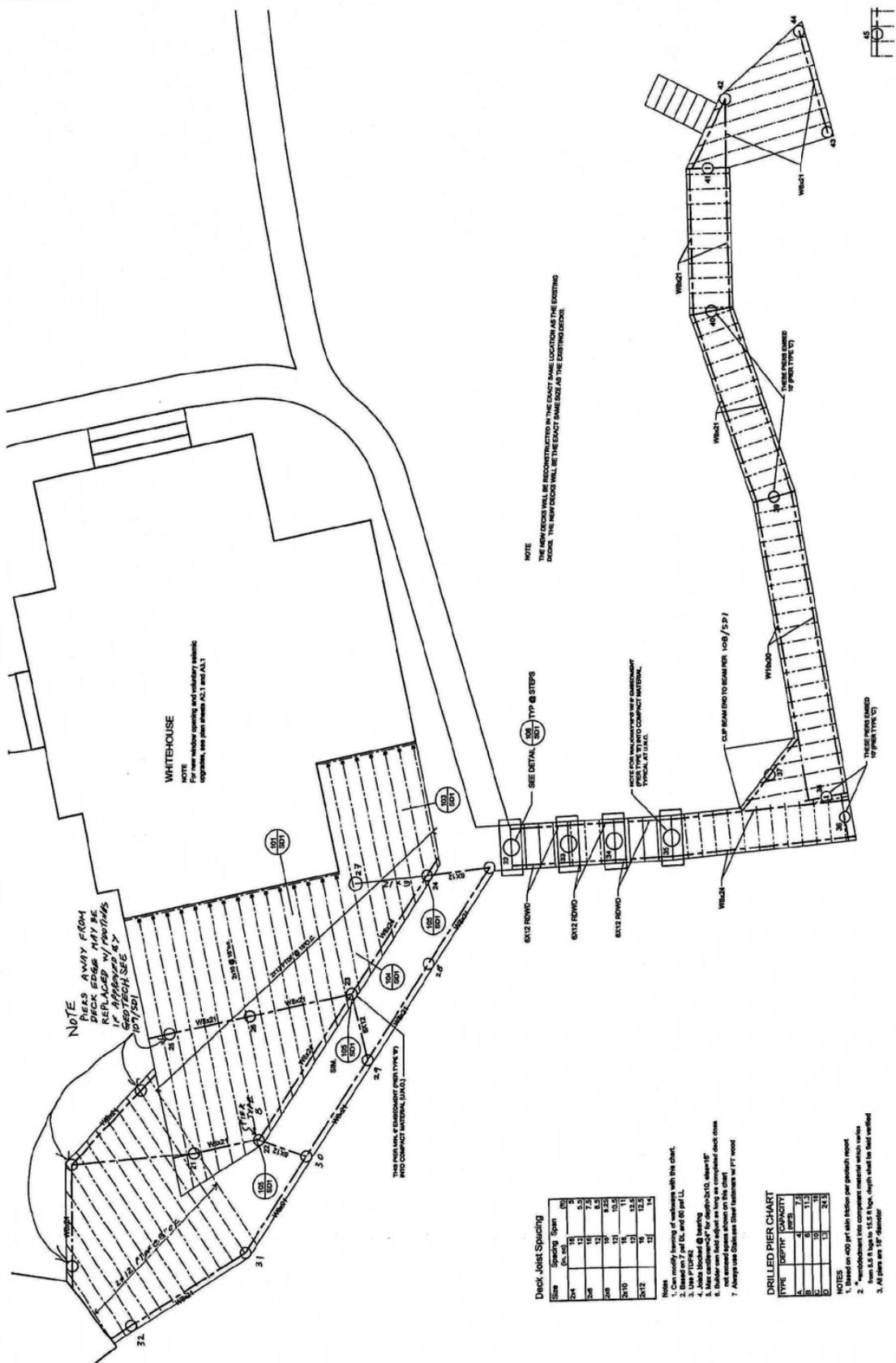
CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE
 DECK FRAMING PLAN

Map produced by the Mendocino County Planning & Building Services, May, 2016
 All spatial data is approximate. Map provided without warranty of any kind.



This drawing is created for a specific project and is not to be used for any other project or in any other location. It is the responsibility of the user to verify the accuracy of the information provided and to ensure that all applicable codes and regulations are followed.



NOTE
 PIER AWAY FROM
 DECK EDGE MAY BE
 REPLACED W/ POSTING
 SEE SECTION SEE 4-7
 10/1/2016

WHITEHOUSE
 NOTE
 For new window opening and safety railing
 upgrade, see post detail 10/1/2016

NOTE
 NEW JOISTS WILL BE RECONSTRUCTED IN THE COUNTY NAME LOCATION AS THE EXISTING
 DECK. THE JOIST SPACING WILL BE THE EXACT SAME SIZE AS THE EXISTING DECK.

SEE DETAIL 100/300 TYP @ STAIRS

THESE PIER BEAMS
 TO BE 100G/S2J

Deck Joist Spacing

Size	Spacing	Span	Q _s
2x4	16"	8'	1.0
2x4	16"	10'	1.3
2x4	16"	12'	1.7
2x4	16"	14'	2.2
2x4	16"	16'	2.8
2x4	16"	18'	3.5
2x4	16"	20'	4.3
2x4	16"	22'	5.2
2x4	16"	24'	6.2
2x4	16"	26'	7.3
2x4	16"	28'	8.5
2x4	16"	30'	9.8
2x4	16"	32'	11.2
2x4	16"	34'	12.7
2x4	16"	36'	14.3
2x4	16"	38'	16.0
2x4	16"	40'	17.8

- Notes
1. Can modify framing of walkways with the chart.
 2. Use P100 for 100g/s2j and 100g/s2j.
 3. Use P100 for 100g/s2j.
 4. Joist blocked @ bearing.
 5. Joist blocked @ bearing.
 6. Joist can be adjusted as long as complete deck does not exceed spans shown on the chart.
 7. Always use California timber treatment per P100 code.

DRILLED PIER CHART

TYRE	DEPTH	CAPACITY
1	4'	1.5
2	6'	2.5
3	8'	4.0
4	10'	6.0
5	12'	8.5
6	14'	11.5
7	16'	15.0
8	18'	19.0
9	20'	23.5

- NOTES
1. Values on 100g/s2j table factor per geotechnical report.
 2. "embedment into competent material which varies from 3.5 ft high to 15.5 ft high, depth shall be field verified.
 3. All piers are 12" diameter.

DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"

CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

DECK FRAMING PLAN

DATE	7/15/2015
BY	J. DUNCAN
CHECKED	
APPROVED	
SCALE	AS SHOWN

Duncan Engineering, Inc.
 7000 13th
 Mendocino, CA 95501
 707-464-0001
 707-464-0099 FAX

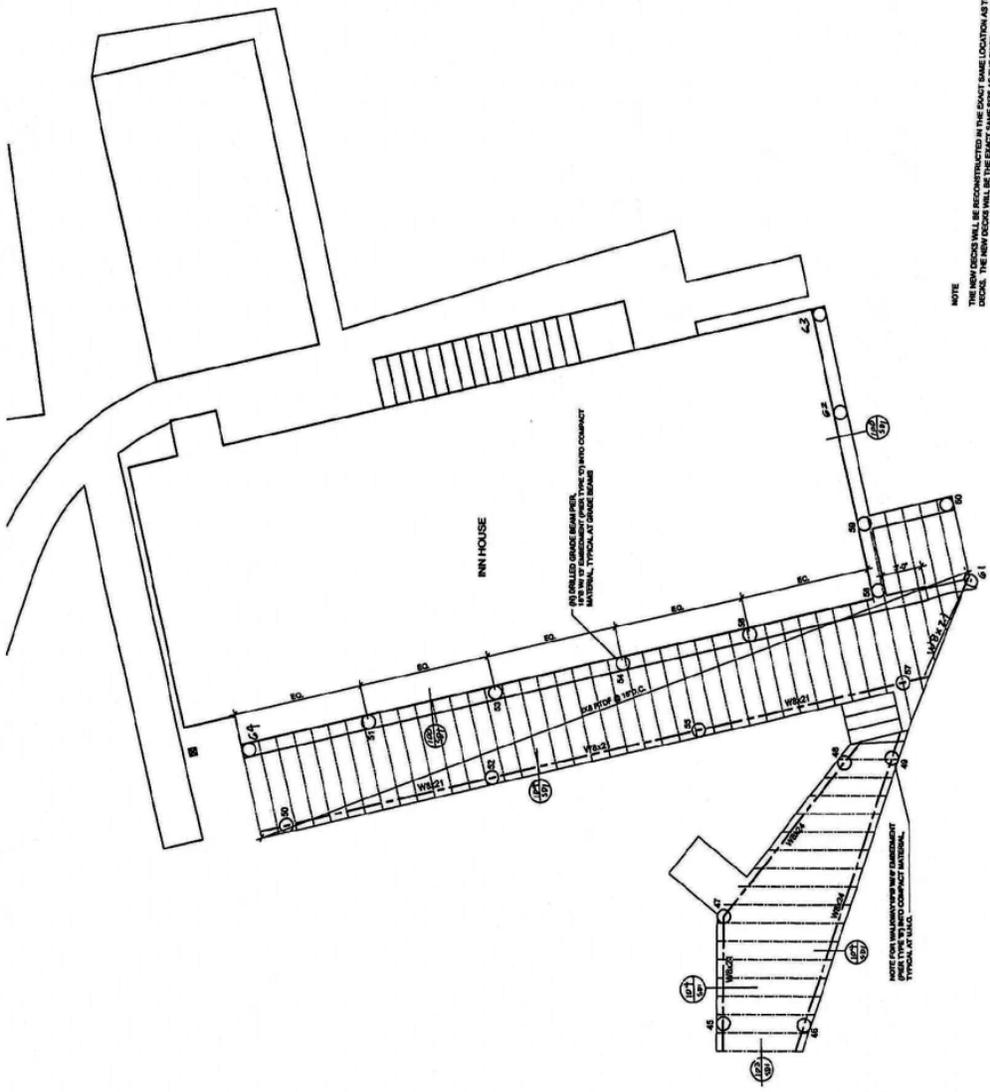


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 This drawing was prepared for a specific project and is not to be used for any other project or without permission.
 Field notes include in a separate location.

DECK FRAMING PLAN
 GREENWOOD PIER
 SOUTH HIGHWAY ONE
 ELK, CA

OWNER	JACKSON RANCHERIA
PROJECT	GREENWOOD PIER
DATE	7/15/2015
BY	J. DUNCAN
CHECKED	
APPROVED	
SCALE	AS SHOWN

Attachment P



NOTE
 THE NEW DECK WILL BE RECONSTRUCTED IN THE EXACT SAME LOCATION AS THE EXISTING DECK. THE NEW DECK WILL BE THE EXACT SAME SIZE AS THE EXISTING DECK.

DECK FRAMING PLAN
 SCALE: 1/4" = 1'-0"

4x Spacing

Deck Span (ft)	Spacing (in)
0	16
1	16
2	16
3	16
4	16
5	16
6	16
7	16
8	16
9	16
10	16
11	16
12	16
13	16
14	16
15	16
16	16
17	16
18	16
19	16
20	16
21	16
22	16
23	16
24	16
25	16
26	16
27	16
28	16
29	16
30	16
31	16
32	16
33	16
34	16
35	16
36	16
37	16
38	16
39	16
40	16
41	16
42	16
43	16
44	16
45	16
46	16
47	16
48	16
49	16
50	16
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57	16
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67	16
68	16
69	16
70	16
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75	16
76	16
77	16
78	16
79	16
80	16
81	16
82	16
83	16
84	16
85	16
86	16
87	16
88	16
89	16
90	16
91	16
92	16
93	16
94	16
95	16
96	16
97	16
98	16
99	16
100	16

3D PIER CHART

Span (ft)	Capacity (lb)
0	11.5
1	11.5
2	11.5
3	11.5
4	11.5
5	11.5
6	11.5
7	11.5
8	11.5
9	11.5
10	11.5
11	11.5
12	11.5
13	11.5
14	11.5
15	11.5
16	11.5
17	11.5
18	11.5
19	11.5
20	11.5
21	11.5
22	11.5
23	11.5
24	11.5
25	11.5
26	11.5
27	11.5
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36	11.5
37	11.5
38	11.5
39	11.5
40	11.5
41	11.5
42	11.5
43	11.5
44	11.5
45	11.5
46	11.5
47	11.5
48	11.5
49	11.5
50	11.5
51	11.5
52	11.5
53	11.5
54	11.5
55	11.5
56	11.5
57	11.5
58	11.5
59	11.5
60	11.5
61	11.5
62	11.5
63	11.5
64	11.5
65	11.5
66	11.5
67	11.5
68	11.5
69	11.5
70	11.5
71	11.5
72	11.5
73	11.5
74	11.5
75	11.5
76	11.5
77	11.5
78	11.5
79	11.5
80	11.5
81	11.5
82	11.5
83	11.5
84	11.5
85	11.5
86	11.5
87	11.5
88	11.5
89	11.5
90	11.5
91	11.5
92	11.5
93	11.5
94	11.5
95	11.5
96	11.5
97	11.5
98	11.5
99	11.5
100	11.5

CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

DECK FRAMING PLAN

Map produced by the Mendocino County Planning & Building Services, May, 2016
 All spatial data is approximate. Map provided without warranty of any kind.

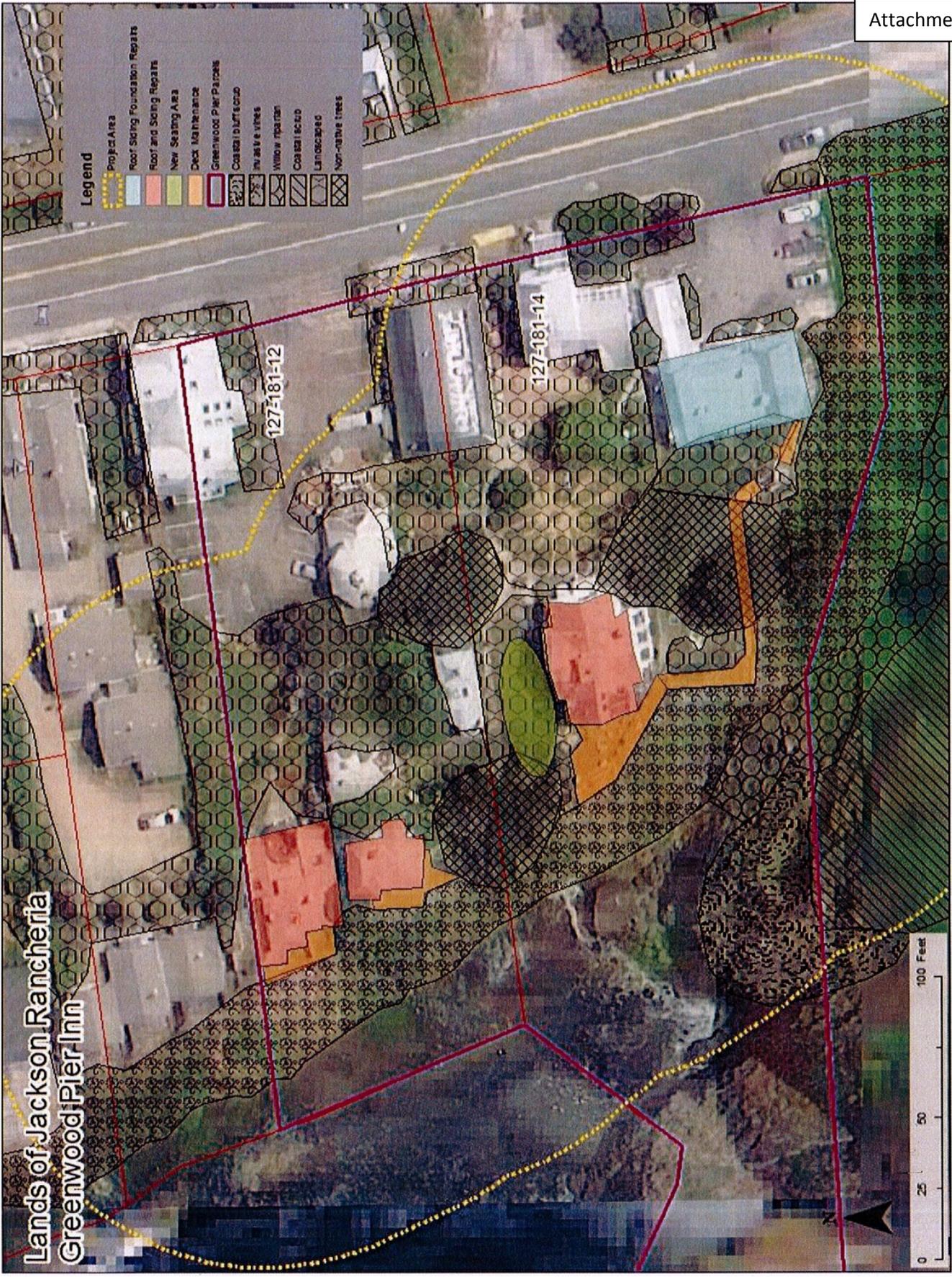


Figure 3. Plant communities map.

CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

PLANT COMMUNITIES

Map produced by the Mendocino County Planning & Building Services, May, 2016
 All spatial data is approximate. Map provided without warranty of any kind.

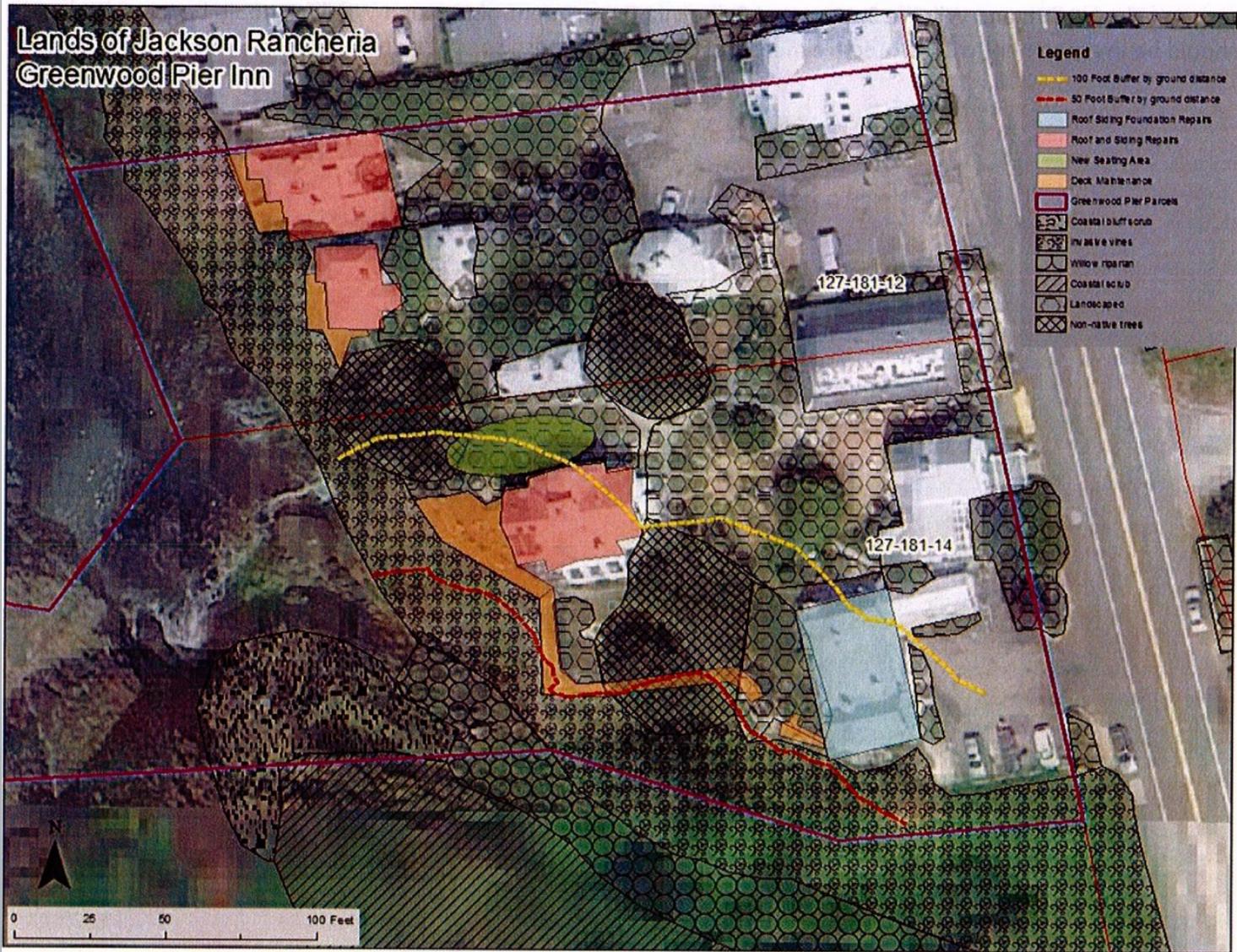


Figure 9. Approximate distance on the ground from estimated edge of riparian vegetation to development.

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

RIPARIAN VEGETATION

Map produced by the Mendocino County Planning & Building Services, May, 2016
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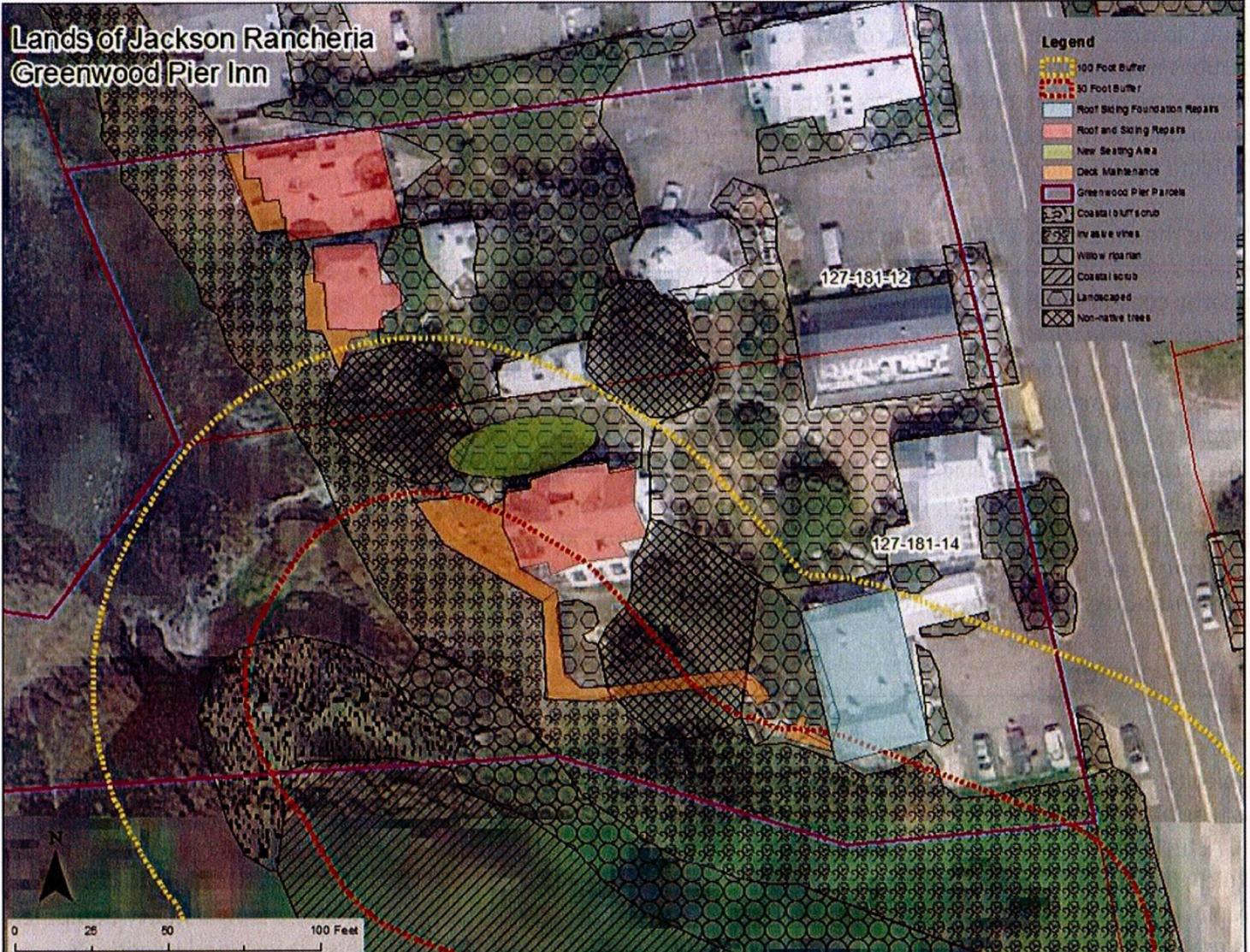


Figure 8. Fifty and 100 foot distances from sensitive plant areas (aerial distance).

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

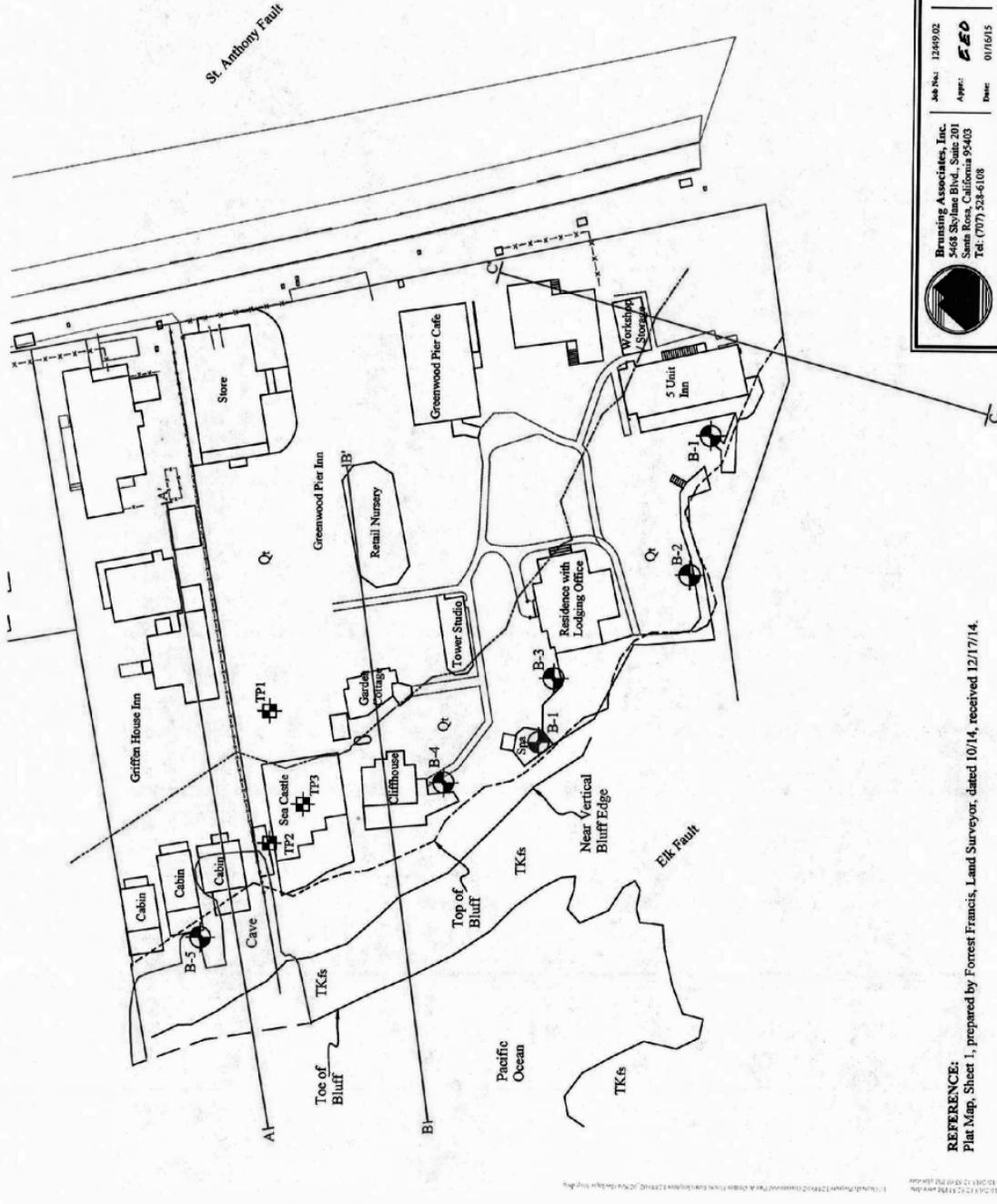
NO SCALE

ESHA BUFFER

Map produced by the Mendocino County Planning & Building Services, May, 2016
All spatial data is approximate. Map provided without warranty of any kind.

LEGEND

- Qt Pliocene terrace deposits, poorly consolidated silty and clayey sand, sandy and silty clay, gravelly and clean sand
- TKfs Tertiary-Cretaceous Franciscan Complex coastal belt sedimentary rocks, well consolidated sandstone
- Approximate boring location and number (2014)
- BAI's previous boring location and number (2001)
- Raney Geotechnical test pit location and number (1986)
- Cross Section (see Plates 17, 18 and 19)
- Top of Bluff
- Study Area Limit
- Fault Line



SITE GEOLOGIC MAP
GREENWOOD PIER AND GRIFTON HOUSE INN
 5926 and 5910 South Highway 1
 Elk, California

Job No: 12449.02
 Appr: **FE**
 Date: 01/16/15

Bransing Associates, Inc.
 2468 Skyline Blvd., Suite 201
 Santa Rosa, California 95403
 Tel: (707) 524-6108

PLATE 2

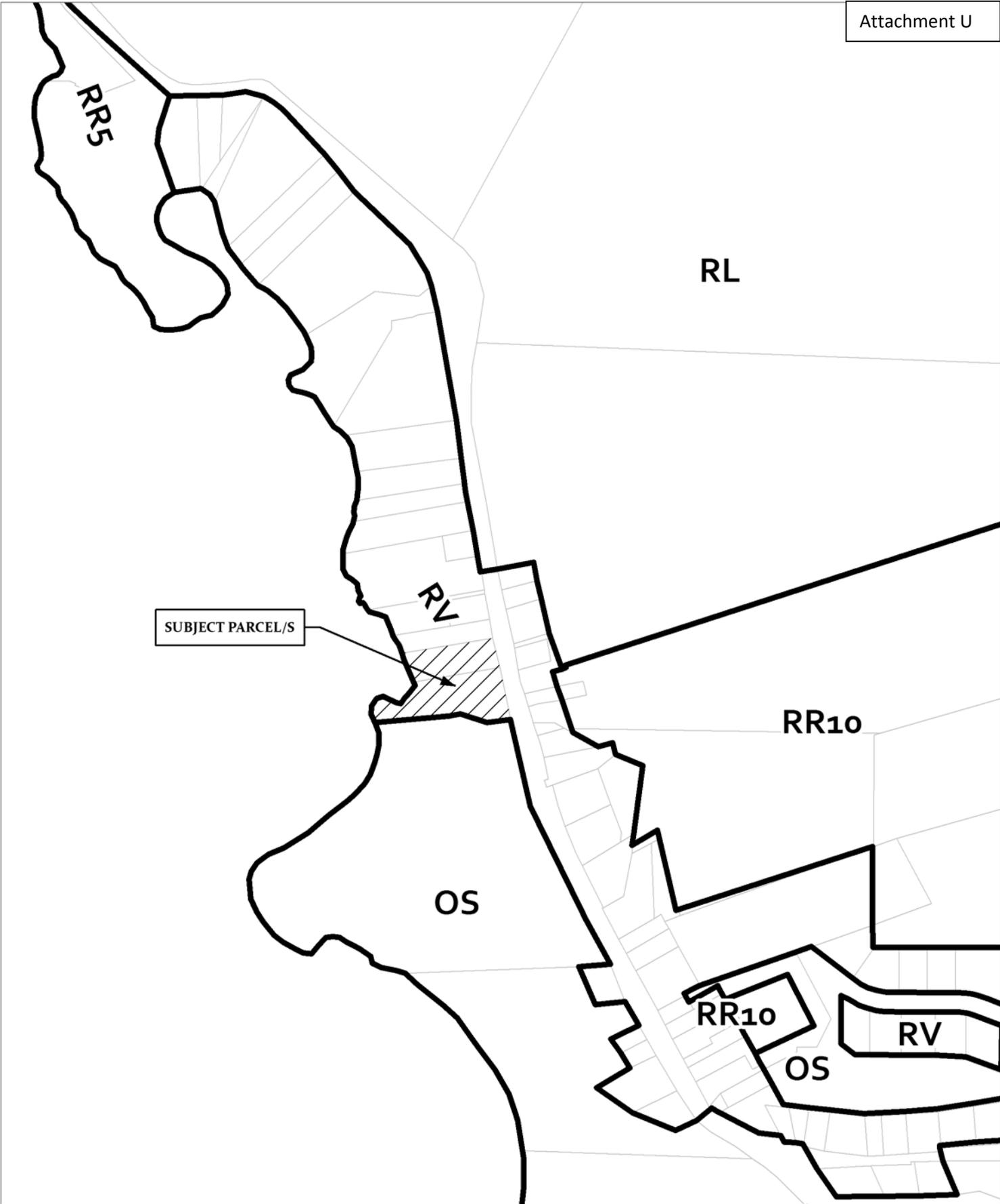
REFERENCE:
 Plat Map, Sheet 1, prepared by Forrest Francis, Land Surveyor, dated 10/14, received 12/17/14.

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

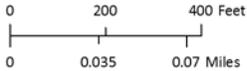
GEOLOGIC MAP

Map produced by the Mendocino County Planning & Building Services, May, 2016
 All spatial data is approximate. Map provided without warranty of any kind.



CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

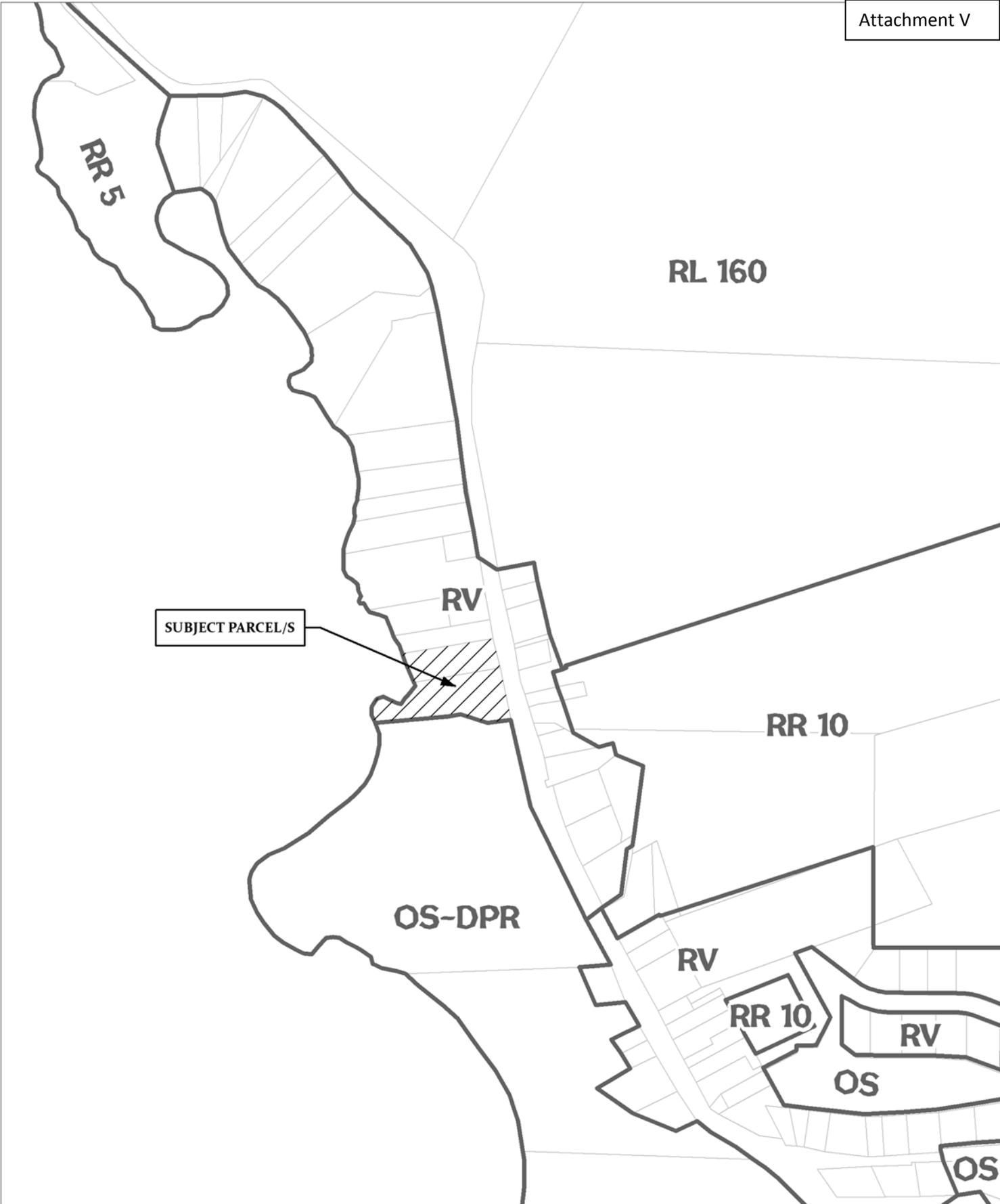
 Zoning Master



1:4,800

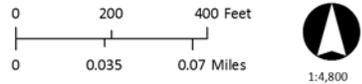
ZONING DISPLAY MAP

Map produced by the Mendocino County Planning & Building Services, December, 2015
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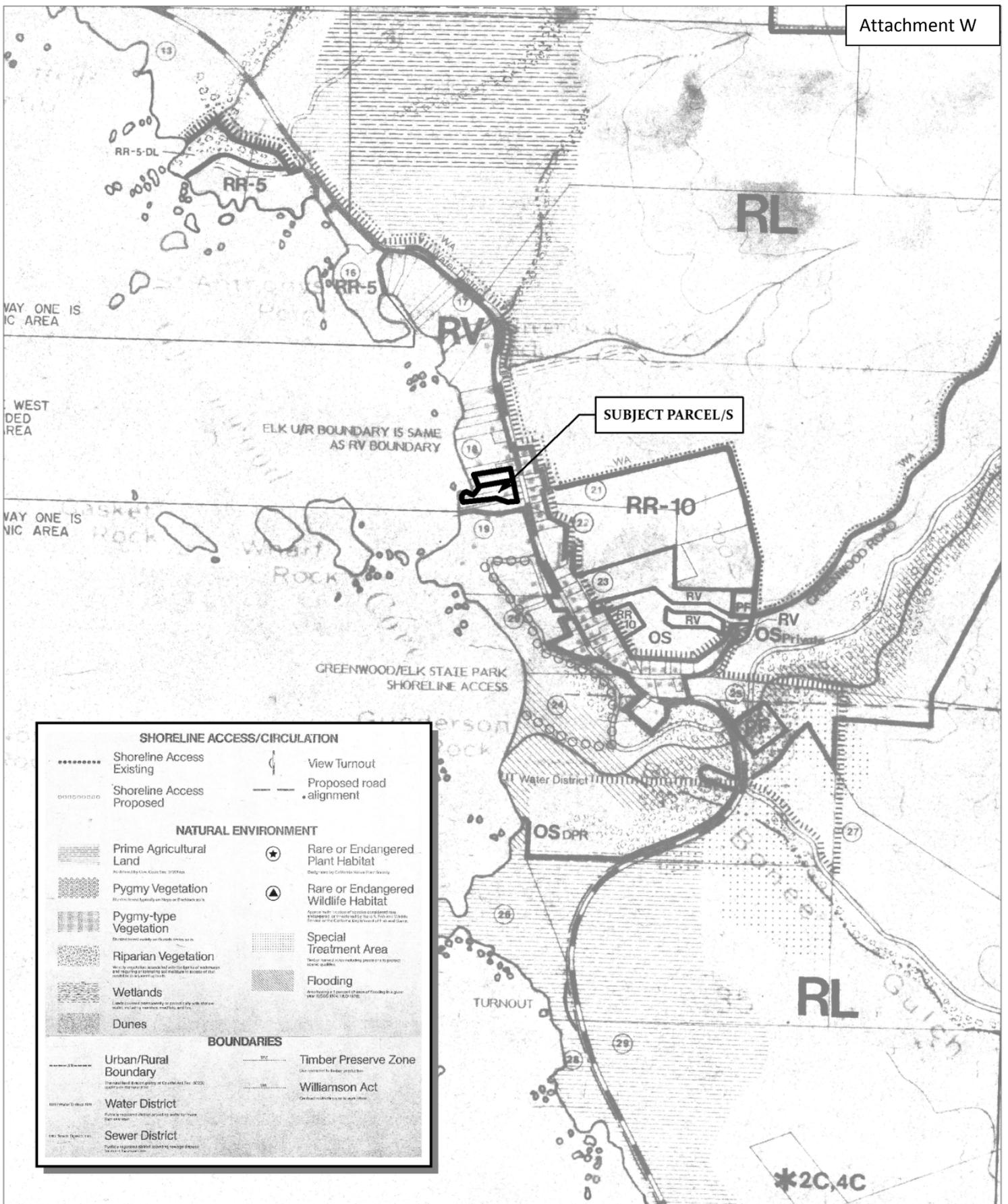
CASE: CDP 2015-0025
 OWNER: Jackson Rancheria
 APN: 127-181-12, 14
 APLCT: Jackson Rancheria
 ADDRESS: 5920 S. Hwy. 1, EL

 General Plan Master

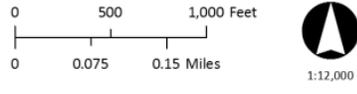


GENERAL PLAN CLASSIFICATIONS

Map produced by the Mendocino County Planning & Building Services, December, 2015
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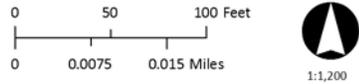
CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL



Map produced by the Mendocino County Planning & Building Services, December, 2015
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CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL



ADJACENT PARCELS

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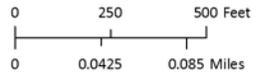
ELK COMMUNITY SERVICE DISTRICT

SUBJECT PARCEL/S



CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

-  Fire Stations
-  County Fire Districts
-  High Fire Hazard
-  Moderate Fire Hazard



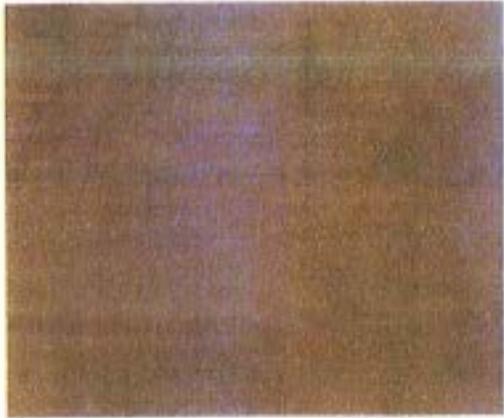
FIRE HAZARD ZONES & RESPONSIBILITY AREAS

STATE RESPONSIBILITY AREA

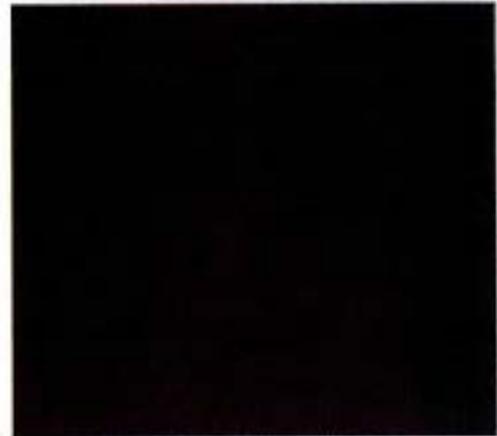
Map produced by the Mendocino County Planning & Building Services, December, 2015
 All spatial data is approximate. Map provided without warranty of any kind.

Barnett JRDC Greenwood Pier Inn CDP Materials and Colors

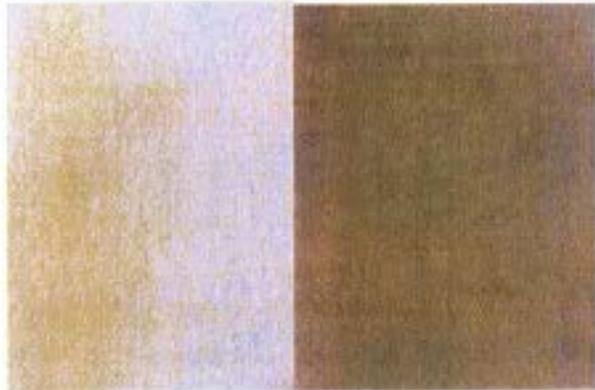
Sea Castle



TRIM, SIDING: Hardieplank or wood. Gray to match existing color.



DOORS: Wood or Fiberglass. Dark brown to match existing color.



WINDOW FRAMES: Vinyl.
Gray or white to match existing color



ROOFING: Certaineed fiberglass
Platinum or Similar Color

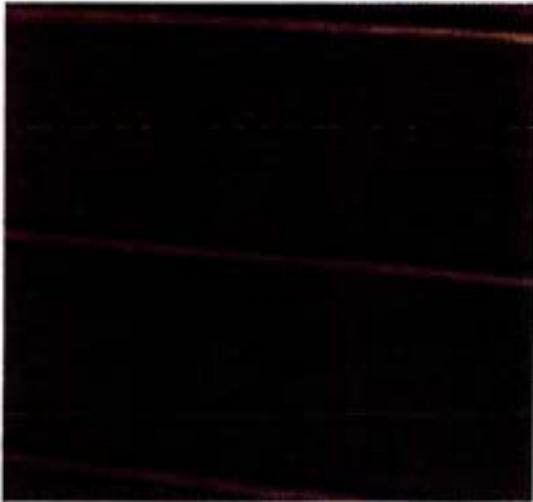
CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5900 S. Hwy. 1, EL

NO SCALE

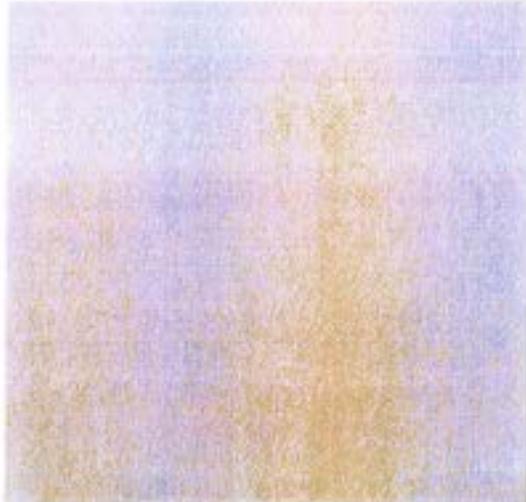
MATERIALS

Barnett JRDC Greenwood Pier Inn CDP Materials and Colors

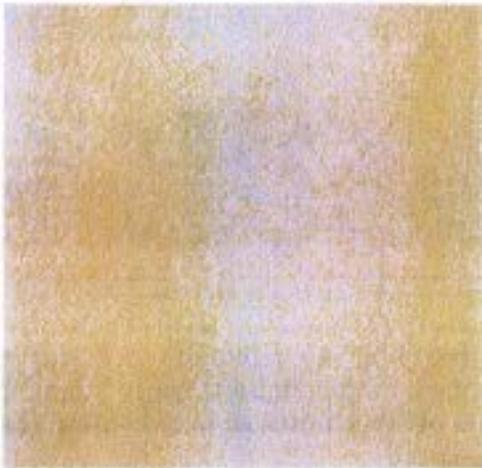
Cliff House



TRIM, SIDING: Hardieplank or wood. Dark brown to match existing color.



DOORS: Wood or Fiberglass. White or gray to match existing color.



WINDOW FRAMES: Vinyl. Cream or white to match existing color



ROOFING: Certainteed fiberglass Platinum or Similar Color

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5900 S. Hwy. 1, EL

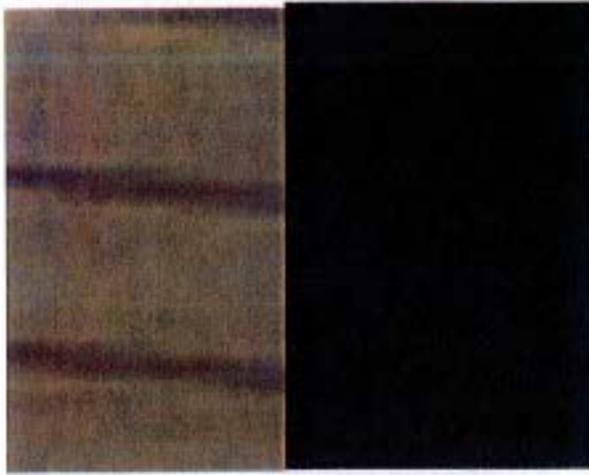
NO SCALE

MATERIALS

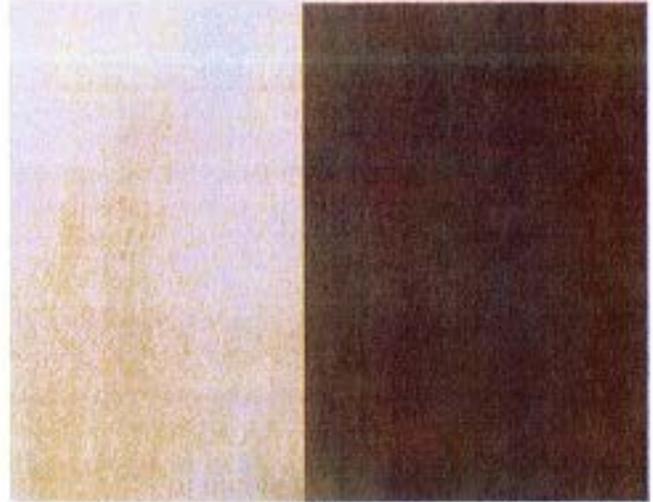
Map produced by the Mendocino County Planning & Building Services, May, 2016
All spatial data is approximate. Map provided without warranty of any kind.

Barnett JRDC Greenwood Pier Inn CDP Materials and Colors

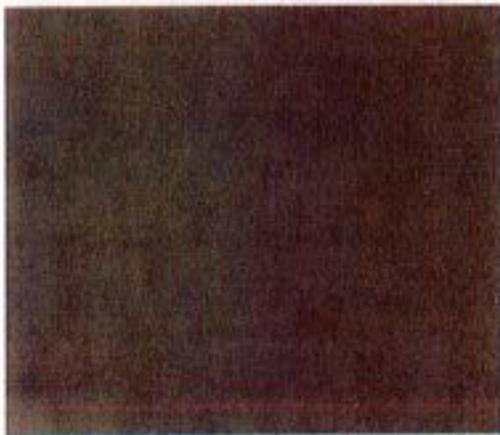
Greenwood Inn



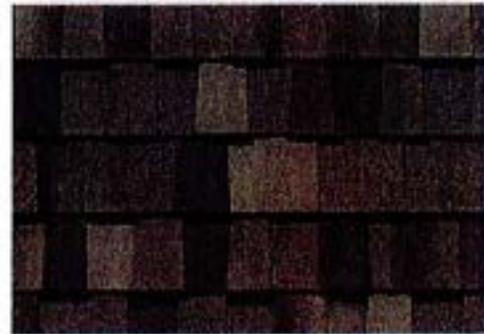
SIDING: Hardieplank or wood. Gray to match existing color. **TRIM:** Hardieplank or wood. Gray or dark green to match existing color.



DOORS: Wood or Fiberglass. White or gray to match existing color.



WINDOW FRAMES: Vinyl. White or gray to match existing color



ROOFING: Certaineed fiberglass Platinum or Similar Color

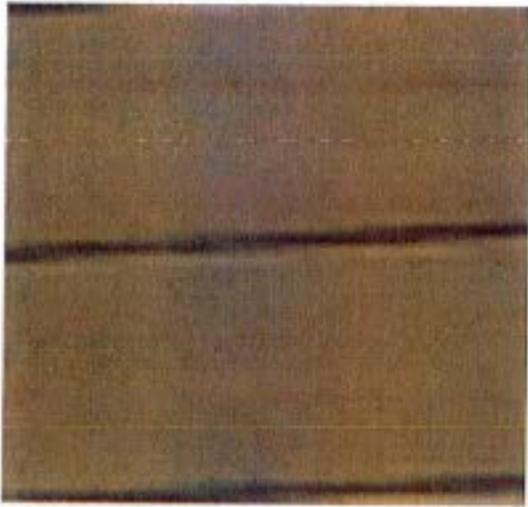
CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5920 S. Hwy. 1, EL

NO SCALE

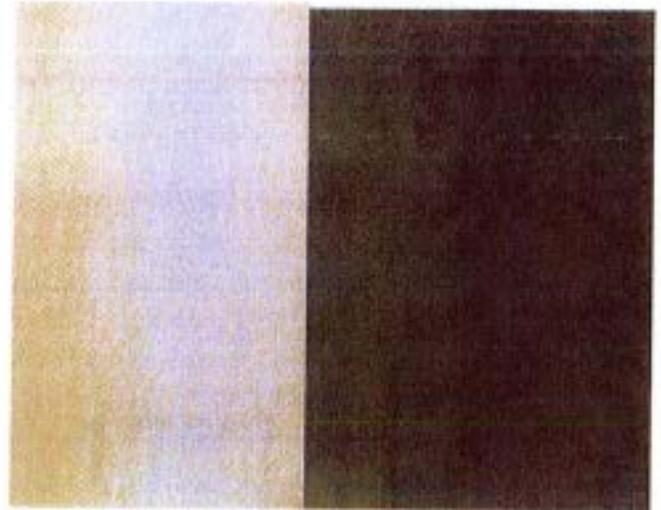
MATERIALS

Barnett JRDC Greenwood Pier Inn CDP Materials and Colors

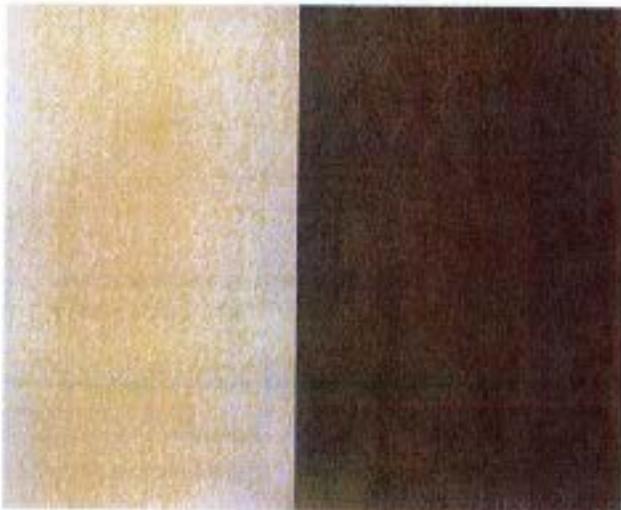
White House



TRIM, SIDING: Hardieplank or wood. White or gray to match existing color.



DOORS: Wood or Fiberglass. White or gray to match existing color.



WINDOW FRAMES: Vinyl. White or gray to match existing color



ROOFING: Certainteed fiberglass Platinum or Similar Color

CASE: CDP 2015-0025
OWNER: Jackson Rancheria
APN: 127-181-12, 14
APLCT: Jackson Rancheria
ADDRESS: 5900 S. Hwy. 1, EL

NO SCALE

MATERIALS

**COASTAL PERMIT APPROVAL CHECKLIST
CDP_2015-0025 (JACKSON RANCHERIA)
June 23, 2016**

PROJECT TITLE: CDP_2015-0025 (JACKSON RANCHERIA)

PROJECT LOCATION: In the Coastal Zone, located on the west side of Highway 1 in the Town of Elk, approximately 2,100 feet north of its intersection with Philo-Greenwood Road. 5920 and 5926 South Highway 1, Elk; APN 127-181-12 and 127-181-14.

**LEAD AGENCY NAME,
ADDRESS AND CONTACT PERSON:** Bill Kinser
Mendocino County Planning and Building Services
120 West Fir Street
Fort Bragg, California 95437
707-964-5379

GENERAL PLAN DESIGNATION: Mendocino County General Plan – Coastal Element
RV (Rural Village)

ZONING DISTRICT Mendocino County Code – Division II
RV (Rural Village)

DESCRIPTION OF PROJECT: Standard Coastal Development Permit for repair and replacement of existing structures and construction of a new outdoor picnic/seating area at 5920 and 5926 South Highway 1 in Elk, California. The structures include the Greenwood Inn, White House (Proprietor’s Residence and Office), Cliff House Unit, North Sea Castle and South Sea Castle and associated decks and a boardwalk. The repair or replacement projects include: foundation replacement (including drilling new piers), walls, siding, windows, doors, roofing, electrical and plumbing.

SITE DESCRIPTION AND SETTING: The two blufftop properties encompass approximately 1.67 acres and are located on the west side of Highway 1 in the Town of Elk. Both properties are extensively developed. The northern parcel (APN: 127-181-12) contains the Country Store, Sea Castle (2 guest units), Cliff House (1 guest unit), Garden Cottage (1 guest unit) a store with 2 units, twenty-one parking spaces, and associated decking, accessory buildings, walkways and landscaping. The southern parcel (APN: 127-181-14) houses the Greenwood Pier Café, Tower Studio (1 guest unit), Inn (5 guest units), Proprietors Residence with Lodging Office, Staff Residence and Storage, thirteen parking spaces, accessory buildings and facilities, walkways and landscaping.

The two properties slope gently from Highway 1 to the west and southwest bluff edges. The ocean bluff at the property is approximately 120 feet in vertical height. The lower, approximately ¾ of the bluff is near vertical while the upper ¼ of the bluff slopes steeply at about one horizontal to one vertical (1H:1V) to 1.5H:1V. The edge of the near-vertical bluff is approximately 35 feet downslope from the defined bluff edge.

DETERMINATION: The proposed project satisfies all required findings for approval of a Coastal Development Permit, pursuant to Sections 20.532.095 and 20.532.100 of the Mendocino County Code, as individually enumerated in this Coastal Permit Approval Checklist.

20.532.095 Required Findings for All Coastal Development Permits	Inconsistent	Consistent (With Conditions of Approval)	Consistent (Without Conditions of Approval)	Not Applicable
(A) The granting or modification of any coastal development permit by the approving authority shall be supported by findings which establish the following:				
(1) The proposed development is in conformity with the certified local coastal program.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

20.532.095 Required Findings for All Coastal Development Permits	Inconsistent	Consistent (With Conditions of Approval)	Consistent (Without Conditions of Approval)	Not Applicable
(2) The proposed development will be provided with adequate utilities, access roads, drainage and other necessary facilities.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(3) The proposed development is consistent with the purpose and intent of the zoning district applicable to the property, as well as the provisions of this Division and preserves the integrity of the zoning district.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(4) The proposed development will not have any significant adverse impacts on the environment within the meaning of the California Environmental Quality Act.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(5) The proposed development will not have any adverse impacts on any known archaeological or paleontological resource.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(6) Other public services, including but not limited to, solid waste and public roadway capacity have been considered and are adequate to serve the proposed development.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(B) If the proposed development is located between the first public road and the sea or the shoreline of any body of water, the following additional finding must be made:				
(1) The proposed development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act and the Coastal Element of the General Plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

➤ **20.532.095(A)(1) The proposed development is in conformity with the certified local coastal program.**

Consistent (with conditions of approval)

The Local Coastal Program (LCP) sets goals and policies for managing resource protection and development activity in the Coastal Zone of Mendocino County, an area that extends from the Humboldt County line to the Gualala River. The LCP addresses topics such as shoreline access and public trails; development in scenic areas, hazardous areas, and coastal blufftops; environmentally sensitive habitat areas; cultural resources; transportation; public services; and more. The LCP serves as an element of the General Plan and includes the Mendocino County Code (MCC), and its policies must be consistent with the goals of the California Coastal Act.

Various aspects of the LCP are specifically addressed by separate Required and Supplemental Findings for Coastal Development Permits, including utilities, transportation, zoning, California Environmental Quality Act (CEQA) consistency, archaeological resources, public services, coastal access, and resource protection. The following is a discussion of elements of the LCP not specifically addressed elsewhere in this checklist.

General Plan Land Use – Rural Village

The project includes two parcels, both designated Rural Village (RV) by the Coastal Element of the Mendocino County General Plan.

The proposed development is for repair and replacement of existing structures and construction of an outdoor picnic/seating area and will not affect the density or intensity of existing uses on the property. The proposed development is consistent with the existing land use classifications.

Hazards

Mendocino County Coastal Element Chapter 3.4, titled Hazards Management, addresses seismic, geologic and natural forces within the Coastal Zone and MCC Section 20.500 (Hazard Areas) provides regulations for those areas. The purpose of the regulations is to ensure that development in Mendocino County's Coastal Zone "shall (1) Minimize risk to life and property in areas of high geologic, flood and fire hazard; (2) Assure structural integrity and stability; and (3) Neither create nor contribute significantly to erosion, geologic instability or destruction of the site or surrounding areas, nor in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs."

The applicant submitted a report titled *Geotechnical Investigation Planned Near Bluff-Edge Structural Improvements Greenwood Pier Inn and Griffen House Inn 5926 and 5910 South Highway 1 Elk, California* (Brunsing Associates, Inc., 2015). The Geotechnical Report evaluated the geologic hazards at the site including bluff stability and retreat (erosion) rate, fault rupture potential, effects of sea-level rise, and seismicity. The work was limited to structures located within 50 feet of the bluff edge. The Geotechnical Investigation concluded that "Based on the results of our analysis, including consideration of potential settlement, liquefaction, fault rupture, bluff stability, bluff retreat rate, future sea level rise and tsunami hazard ... the site is geotechnically suitable for the proposed improvements (Brunsing Associates, Inc., 2015)."

Seismic Activity. The property neither lies within, nor does it adjoin a mapped Alquist-Priolo Earthquake Fault Zone. The San Andreas fault is located approximately 4.4 miles to the southwest of the project. The Geotechnical Report (Brunsing Associates Inc., 2015) recommended design parameters for the project, which are included as **Condition 11**. This project does not conflict with any state or local seismic hazard policy or plan.

Condition 11. The recommendations from Section 6.0 of the applicant's Geotechnical Investigation (Brunsing Associates, Inc., 2015) addressing Bluff Setbacks (Section 6.1), Site Grading (Section 6.2), Foundations (Section 6.3), Seismic Design (Section 6.5), Concrete Slabs-On-Grade (Section 6.5), and Site Drainage (Section 6.6) shall be required as conditions of approval for the project and shall be followed during all activities related to the repair and replacement of existing structures and construction of the new outdoor picnic/seating. Evidence shall be provided to PBS that a qualified professional has reviewed the construction drawings for consistency with the Geotechnical Investigation recommendations.

Bluffs and Bluff Erosion. MCC Section 20.500.20(B) outlines siting and land use restrictions relative to ocean bluffs, requiring new structures to be set back a sufficient distance from the edge of the bluff to ensure their safety from bluff erosion and bluff retreat during their economic life span (seventy-five years). The Geotechnical Investigation recommended "a 3 foot bluff setback (no safety factor for a "non-critical" structure). ... Based upon a period of 75 years, considered by the CCC to be the economic lifespan of a structure, and projections of increased retreat rates resulting from sea level rise, plus an appropriate safety factor, a conservative setback of 25 feet should be used for new construction. Older, existing structures (buildings, decks, walkways, etc.) within the bluff setback can remain at their present location and be upgraded, provided BAI observes the foundation excavations (Brunsing Associates Inc., 2015)." The recommendations of the Geotechnical Report are included by reference in **Condition 11** (see above). In addition, **Condition 12** is recommended as a condition of approval requiring the applicant as landowner execute and record a deed restriction, in a form and content acceptable to the Coastal Permit Administrator and County Counsel, which shall address issues related to the geologic and erosion hazards of the site and that the landowners assumes the risk from such hazards.

Condition 12. Prior to the issuance of the Coastal Development Permit, the applicant as landowner shall execute and record a deed restriction, in a form and content acceptable to the Coastal Permit Administrator and County Counsel, which shall provide that:

- a. The landowner understands that the site may be subject to extraordinary geologic and erosion hazards and the landowner assumes the risk from such hazards;
- b. The landowner agrees to indemnify and hold harmless the County of Mendocino, its successors in interest, advisors, officers, agents and employees against any and all claims, demands, damages, costs, and expenses of liability (including without limitation attorneys' fees and costs of the suit) arising out of the design, construction, operation, maintenance, existence or failure of the permitted project. Including, without limitation, all claims made by any individual or entity or arising

out of any work performed in connection with the permitted project;

- c. The landowner agrees that any adverse impacts to the property caused by the permitted project shall be fully the responsibility of the applicant;
- d. The landowner shall not construct any bluff or shoreline protective devices to protect the subject structures (the Greenwood Inn, White House (Proprietor's Residence and Office), Cliff House Unit, North Sea Castle and South Sea Castle and associated decks and a boardwalk) or other improvements in the event that these structures are subject to damage, or other erosional hazards in the future;
- e. The landowner shall remove the subject structures when bluff retreat reaches the point where the structures are threatened. In the event that portions of the subject structures or other improvements associated with the subject structures fall to the beach or ocean before they can be removed from the blufftop, the landowner shall remove all recoverable debris associated with these structures from the beach and ocean and lawfully dispose of the material in an approved disposal site. The landowners shall bear all costs associated with such removal;

The document shall run with the land, bind all successors and assigns, and shall be recorded free of all prior liens and encumbrances, except for tax liens.

Flooding. There are no mapped 100-year flood zones near the proposed development, and no conditions are necessary to ensure consistency with flood policy.

Fire. The project is located in an area with a high fire hazard severity rating. The repair and replacement of structures on the property would be required to meet current California fire safety codes.

Visual Resources

Protection of visual resources is a specific mandate of Section 30251 of the Coastal Act, and is subsequently addressed in Chapter 3.5 of General Plan's Coastal Element and implemented by Chapter 20.504 of the MCC.

The project is not located in a designated Highly Scenic Area and is for repair and replacement of existing structures. No change in lighting is proposed as part of the project. The project will not have an impact on visual resources.

- **20.532.095(A)(2) The proposed development will be provided with adequate utilities, access roads, drainage and other necessary facilities.**

Consistent (with conditions of approval)

Utilities

Improvements to the septic system serving the property are underway and addressed in CDP 2014-0036 (approved), CDP 2015-0004 (approved) and CDP 2015-0024 (in progress). These CDPs are improving the septic treatment systems serving the properties and bringing existing septic conditions into conformity with current standards. The project will not affect water service to the site. The project was referred to the Elk County Water District for comment; the agency had no comment on the proposed development.

Access Roads

The project will have no effect on existing access roads.

Drainage

Erosion management is subject to MCC Section 20.492.025, which requires that water flows in excess of natural flows resulting from the project development be mitigated, and construction related erosion is adequately managed. The Geotechnical Investigation provides recommendations on site drainage which are included by reference in **Condition 11** (see above). **Condition 13** is also recommended to ensure the development is provided with adequate erosion and sediment control.

Condition 13.

Prior to issuance of a building permit in reliance of this Coastal Development Permit, the applicant shall submit for approval by Planning and Building staff a drainage and erosion control

plan. The plan shall detail erosion and sediment control Best Management Practices, including concrete wash out area, staging, stockpile locations, and tree protection areas, as necessary.

- **20.532.095(A)(3) The proposed development is consistent with the purpose and intent of the zoning district applicable to the property, as well as the provisions of this Division and preserves the integrity of the zoning district.**

Consistent (without conditions of approval)

Use: The project will occur on a property which is zoned Rural Village (RV). The application is for repair and replacement of existing structures on the site, except for the construction of an outdoor picnic area. The development will not alter the existing land use of any of the parcels subject to the application.

Yards: MCC Section 20.308.140(A) defines yards as open areas on the same site as a structure, unoccupied and unobstructed by a building, which is defined by MCC Section 20.308.025(H) as a permanent structure having a roof. The project is for repair and replacement of structures in their same footprint and construction of outdoor picnic area. It will not affect yard setbacks.

Height: The proposed development will not increase the height of any of the structures to be repaired and or replaced. The development will not exceed the height limits of the RV zoning district.

- **20.532.095(A)(4) The proposed development will not have any significant adverse impacts on the environment within the meaning of the California Environmental Quality Act.**

Consistent (with conditions of approval)

The proposed project is Categorically Exempt from the provisions of CEQA, pursuant to Class 1 of Article 19 of the California Environmental Quality Act Guidelines. The Class 1 exemption finds that “for repair, maintenance, and minor alteration of existing private structures, facilities, mechanical equipment or topographical features involving negligible expansion” meeting the criteria of Section 15301, has “been determined not to have a significant effect on the environment and which shall, therefore, be exempt from the provisions of CEQA.”

The proposed development meets the criteria of Section 15301, and therefore will not have any significant adverse impacts on the environment within the meaning of the California Environmental Quality Act.

- **20.532.095(A)(5) The proposed development will not have any adverse impacts on any known archaeological or paleontological resource.**

Consistent (with conditions of approval)

MCC Section 20.532.095(A)(5) requires that the granting or modification of any coastal development permit shall be supported by findings which establish that the proposed development will not have any adverse impacts on any known archaeological or paleontological resource. The applicant prepared *An Archaeological Survey for a Septic Repair Project for the Harbor and Griffen Houses in Elk, California* (Van Bueren, 2014), which was reviewed and accepted by the Mendocino County Archaeological Commission at a public hearing on March 9, 2016. In addition to the standard “discovery clause”, the Archaeological Commission recommended that due to the “pier/piling development and the potential for historical resources, it is recommended that a historian determine which excavation and/or boring locations are sensitive and warrant the presence of a historian during the time of actual excavation/boring.”

The recommendations of the Archaeological Commission are included in the conditions of approval for the project. Compliance with the Archaeological Commission’s recommendations will ensure consistency with MCC Section 20.532.095(A)(5) required findings for impacts on any known archaeological or paleontological resource.

While there are no culturally significant resources identified that could be impacted by this project, the recommended **Condition 8** and **Condition 9** will ensure there will not be adverse impacts on any known archaeological or paleontological resource.

Condition 8. If any archaeological sites or artifacts are discovered during site excavation or construction activities, the applicant shall cease and desist from all further excavation and disturbances within one hundred (100) feet of the discovery, and make notification of the discovery to the Director of the Department of Planning and Building Services. The Director will coordinate further actions for the protection of the archaeological resources in accordance with Section 22.12.090 of the Mendocino County Code.

Condition 9. Following the recommendation of the Archaeological Commission regarding pier/piling development and the potential for historical resources, prior to issuance of a building permit a historian shall determine which excavation and/or boring locations are sensitive and warrant the presence of a historian during the time of actual excavation/boring.

➤ **20.532.095(A)(6) Other public services, including but not limited to, solid waste and public roadway capacity have been considered and are adequate to serve the proposed development.**

Consistent (without conditions of approval)

Solid Waste: The proposed development will not increase the intensity of use of the properties and will not affect the generation of solid waste or its disposal.

Roadway Capacity: The proposed development is for repair and replacement of existing structures on the properties and will have no effect on roadway capacity, which will remain adequate to serve the existing development.

➤ **20.532.095(B)(1) If the proposed Development is located between the first public road and the sea or the shoreline of any body of water, the following additional finding must be made: The proposed development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act and the Coastal Element of the General Plan.**

Consistent (without conditions of approval)

The proposed development is located west of Highway 1. The structures proposed for repair and replacement primarily provide Visitor Accommodation Services on the properties. The development will not negatively affect public access to the coast. There is existing public access directly adjacent to the south of the property at Greenwood State Park.

20.532.100 (A) Resource Protection Impact Findings	Inconsistent	Consistent (With Conditions of Approval)	Consistent (Without Conditions of Approval)	Not Applicable
(1) Development in Environmentally Sensitive Habitat Areas. No development shall be allowed in an ESHA unless the following findings are made:				
(a) The resource as identified will not be significantly degraded by the proposed development.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(b) There is no feasible less environmentally damaging alternative.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(c) All feasible mitigation measures capable of reducing or eliminating project related impacts have been adopted.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

➤ **20.532.100(A)(1), et. seq. No development shall be allowed in an ESHA unless the following findings are made...**

➤ *Consistent (with conditions of approval)*

The certified Mendocino County Local Coastal Program (LCP) includes sections of both the MCC and the Coastal Element of the General Plan addressing Environmentally Sensitive Habitat Areas (ESHA). The MCC states that development having the potential to impact an ESHA shall be subject to a biological survey, prepared by a qualified biologist, to determine the extent of sensitive resources, to document potential negative impacts, and to recommend appropriate mitigation measures.

The applicant submitted a *Biological Scoping Survey Report for Jackson Rancheria's Greenwood Pier Inn* (Spade Natural Resources Consulting (SNRC), 2015). Biological scoping and botanical surveys were conducted within 100 feet of the project area on November 4, 2014, and March 23, May 22, and June 3, 2015.

The surveys documented the occurrence of willow riparian (Sitka willow thickets – *Salix sitchensis* Provisional Shrubland Alliance G4 S3) to the south of the Greenwood Pier Inn (in a gulch), northern coastal bluff scrub G2 S2, more than 100 feet from the project by foot, and coastal scrub (Blue blossom chaparral – *Ceanothus thyrsiflorus* Shrubland Alliance G4 S4), also more than 100 feet from the project area by foot.

The proposed improvements would occur upslope of the Sitka willow riparian area and stream that is located in the gulch to the south of the property. With measures as proposed, avoidance of detrimental impacts to sensitive area is feasible (SNRC, 2015). A reduced buffer analysis was prepared to address development located within 100 feet of the willow riparian area. Some of the repairs and maintenance to existing structures would occur within 50 feet of the riparian area and stream. These include the deck/walkway and Proprietors Residence on the southern parcel (APN:127-181-14). Detrimental impacts could occur from heavy equipment use, equipment staging or other direct construction encroachments into sensitive areas, accidental spills, invasive seed contamination during construction, or stormwater runoff/sedimentation of the stream from disturbed soils or unstabilized construction materials used at the site (SNRC, 2015).

The Biological Scoping Survey notes that there is a low potential for presence of special status frog species using the project site as upland habitat during migration, including Federally Endangered California red-legged frog and California Species of Special Concern northern red-legged frog. The frogs could be impacted by placement of construction materials and erosion control devices, heavy equipment use, accidental spills, or sedimentation of waterways in the project area (SNRC, 2015).

The Biological Scoping Survey (SNRC, 2015) recommends avoidance measures for the Sitka willow riparian area and stream and for Special Status Frogs. These are recommended as **Condition 10**. California Department of Fish and Wildlife concurred "that adhering to the Avoidance Measures outlined in the Report will minimize or avoid the risk of potential impacts of the project on special status species and sensitive natural communities, and recommend[ed] that the measures are included as enforceable conditions of approval for CDP 2015-0025 (Liebenberg, 2016)."

Condition 10. The following avoidance measures, based on the recommendation of the project biologist, shall be required conditions of approval for the project:

- a. Avoidance During Construction – Areas where heavy equipment use, staging, or other construction impacts will occur within 100 feet of the Sitka willow riparian area and stream, shall include the placement of orange ESA fencing at the boundary of the established 50 foot buffer area where feasible, or as far from the Sitka willow riparian area as possible if a 50 buffer is not feasible. All project components, including the use of heavy equipment, staging, and other project impacts are to be limited to areas outside of the Sitka willow riparian area and stream buffer zone as delineated by placed orange ESA fencing. With the exception of the small drill rig, to be used to install one or two drilled piers on the southwest side of the main inn building, work within 50 feet of the Sitka willow riparian area and stream shall be accomplished by hand tools only, taking care not to allow materials or other debris to fall into the gulch. No materials storage or use of heavy equipment shall occur within the 50 foot buffer to the Sitka willow riparian area.
- b. Special Status Frogs – Within two weeks prior to construction, surveys for California and northern red-legged frogs shall be conducted by a qualified biologist. Prior to commencement of construction, project contractors will be trained by a qualified biologist in the identification of the California and northern red-legged frog. Construction crews will begin each day with a visual search around all stacked or stored materials, as well as along any silt fences to detect the presence of frogs. If a

California or northern red-legged frog is detected, construction crews will contact the US Fish and Wildlife Service (California red-legged frogs), California Department of Fish and Wildlife (northern red-legged frogs), or a qualified biologist, to provide clearance prior to reinitiating work.

If a rain event occurs during the construction period, all construction-related activities will cease for a period of 48 hours after the rain stops. Prior to resuming construction activities, trained construction crew member(s) will examine the site for the presence of frogs. If no northern red-legged frogs are found, construction activities may resume. The US Fish and Wildlife Service and the California Department of Fish and Wildlife should be consulted and should be in agreement with protective measures needed for these special status frogs.

MCC Section 20.496.005 addresses the applicability of the ESHA chapter to proposed development, stating "This Chapter shall apply to all development proposed in the Coastal Zone unless and until it can be demonstrated to the approving authority that the projects will not degrade an environmentally sensitive habitat or resource area and shall be compatible with the continuance of such areas." Staff finds that the proposed repair and replacement of structures and construction of the outdoor picnic/seating area will not degrade any ESHA and is compatible with the continuance of ESHA due to the temporary nature of the construction and the fact that no new structures will be built within the 50 foot buffer, provided avoidance measures recommended by the biological report are incorporated into the project design. Supplemental Resource Protection Findings 1(a-c) reflect this conclusion, and **Condition 10** requires the applicant to follow the avoidance measures proposed by the biologist.

Resolution Number _____

County of Mendocino
Ukiah, California
JUNE 23, 2016

CDP_2015-0025 JACKSON RANCHERIA DEVELOPMENT

RESOLUTION OF THE Coastal Permit Administrator, COUNTY OF MENDOCINO, STATE OF CALIFORNIA, ADOPTING a Categorical Exemption from CEQA and GRANTING A CDP_STANDARD FOR repair and replacement to existing structures and construction of a new outdoor picnic/seating area at 5920 and 5926 South Highway 1 in the Town of Elk.

WHEREAS, the applicant, JACKSON RANCHERIA DEVELOPMENT AND JACKSON RANCHERIA, filed an application for CDP_STANDARD with the Mendocino County Department of Planning and Building Services for repair and replacement of existing structures and construction of a new outdoor picnic/seating area at 5920 and 5926 South Highway 1 in Elk, California. The structures include the Greenwood Inn, White House (Proprietor's Residence and Office), Cliff House Unit, North Sea Castle and South Sea Castle and associated decks and a boardwalk. The repair or replacement projects include: foundation replacement (including drilling new piers), walls, siding, windows, doors, roofing, electrical and plumbing. The project site is in the Coastal Zone, located on the west side of Highway 1 in the Town of Elk, approximately 2100 feet north of its intersection with Philo-Greenwood Road. 5920 and 5926 South Highway 1, Elk; APN 127-181-12 and 127-181-14.; General Plan RV:U; Zoning RV:40K ; Supervisorial District ; (the "Project"); and

WHEREAS, pursuant to the California Environmental Quality Act of 1970, and State and County CEQA Guidelines thereto, this project has been found to be Categorical Exempt from environmental review; and

WHEREAS, in accordance with applicable provisions of law, the Coastal Permit Administrator held a public hearing on, June 23, 2016, at which time the Coastal Permit Administrator heard and received all relevant testimony and evidence presented orally or in writing regarding Class 1 Categorical Exemption from the California Environmental Quality Act pursuant to PRC Section 15301 and the Project. All interested persons were given an opportunity to hear and be heard regarding the Class 1 Categorical Exemption from the California Environmental Quality Act and the Project; and

WHEREAS, the Coastal Permit Administrator has had an opportunity to review this Resolution and finds that it accurately sets for the intentions of the certified Local Coastal Program and the Board of Supervisors regarding the Class One Categorical Exemption from CEQA and the Project.

NOW, THEREFORE, BE IT RESOLVED, that the Coastal Permit Administrator finds that the application and supporting documents contain information and conditions sufficient to establish, as required by the MCC, that:

1. The proposed development is in conformity with the certified local coastal program; and
2. The proposed development will be provided with adequate utilities, access roads, drainage and other necessary facilities; and
3. The proposed development is consistent with the purpose and intent of the zoning district applicable to the property, as well as the provisions of the MCC and preserves the integrity of the zoning district; and

4. The proposed development will not have any significant adverse impacts on the environment within the meaning of the California Environmental Quality Act; and
5. The proposed development will not have any adverse impacts on any known archaeological or paleontological resource; and
6. Other public services, including but not limited to, solid waste and public roadway capacity have been considered and are adequate to serve the proposed development; and
7. The proposed development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act and Coastal Element of the General Plan; the Coastal Access Trail is contiguous with Highway 1 route through the town of Elk and the proposed project will not diminish access to the coast; and
8. Condition 10, based on the recommendations of the project biologist, will avoid impacts of development on ESHA.

BE IT FURTHER RESOLVED that the Coastal Permit Administrator hereby adopts the Class 1 Categorical Exemption from the California Environmental Quality Act pursuant to Guidelines Section 15301.

BE IT FURTHER RESOLVED that the Coastal Permit Administrator hereby grants the requested Coastal Development Permit, subject to the Conditions of Approval in Exhibit "A", attached hereto.

BE IT FURTHER RESOLVED that the Coastal Permit Administrator designates the Secretary as the custodian of the document and other material which constitutes the record of proceedings upon which the Coastal Permit Administrator decision herein is based. These documents may be found at the office of the County of Mendocino Planning and Building Services, 860 North Bush Street, Ukiah, CA 95482.

BE IT FURTHER RESOLVED that the Coastal Permit Administrator action shall become final on the 11th day after the date of the Resolution unless an appeal is filed pursuant to Section 20.544.015 of the Mendocino County Code. The permit shall become effective after the ten (10) working day appeal period to the Coastal Commission has expired and no appeal has been filed with the Coastal Commission.

I hereby certify that according to the Provisions of Government Code Section 25103 delivery of this document has been made.

ATTEST: ADRIENNE THOMPSON
Commission Services Supervisor

By: _____

BY: STEVE DUNNICLIFF
Director

ANDY GUSTAVSON
Coastal Permit Administrator

EXHIBIT A

CONDITIONS OF APPROVAL CDP_2015-0025 JACKSON RANCHERIA DEVELOPMENT JUNE 23, 2016

APPROVED PROJECT DESCRIPTION: Standard Coastal Development Permit for repair and replacement of existing structures and construction of a new outdoor picnic/seating area at 5920 and 5926 South Highway 1 in Elk, California. The structures include the Greenwood Inn, White House (Proprietor's Residence and Office), Cliff House Unit, North Sea Castle and South Sea Castle and associated decks and a boardwalk. The repair or replacement projects include: foundation replacement (including drilling new piers), walls, siding, window, doors, roofing, electrical and plumbing.

CONDITIONS OF APPROVAL AND MITIGATION MEASURES:

1. This action shall become final on the 11th day following the decision unless an appeal is filed pursuant to Section 20.544.015 of the Mendocino County Code. The permit shall become effective after the ten (10) working day appeal period to the Coastal Commission has expired and no appeal has been filed with the Coastal Commission. The permit shall expire and become null and void at the expiration of two years after the effective date except where construction and use of the property in reliance on such permit has been initiated prior to its expiration. To remain valid, progress towards completion of the project must be continuous. The applicant has sole responsibility for renewing this application before the expiration date. The County will not provide a notice prior to the expiration date.
2. The use and occupancy of the premises shall be established and maintained in conformance with the provisions of Division II of Title 20 of the Mendocino County Code.
3. The application, along with supplemental exhibits and related material, shall be considered elements of this permit, and that compliance therewith is mandatory, unless an amendment has been approved by the Coastal Permit Administrator.
4. That this permit be subject to the securing of all necessary permits for the proposed development from County, State and Federal agencies having jurisdiction.
5. The applicant shall secure all required building permits for the proposed project as required by the Building Inspection Division of the Department of Planning and Building Services.
6. This permit shall be subject to revocation or modification upon a finding of any one (1) or more of the following:
 - a. That such permit was obtained or extended by fraud.
 - b. That one or more of the conditions upon which such permit was granted have been violated.
 - c. That the use for which the permit was granted is so conducted as to be detrimental to the public health, welfare or safety or as to be a nuisance.
 - d. A final judgment of a court of competent jurisdiction has declared one or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one or more such conditions.
7. This permit is issued without a legal determination having been made upon the number, size or shape of parcels encompassed within the permit described boundaries. Should, at any time, a legal determination be made that the number, size or shape of parcels within the permit described boundaries are different than that which is legally required by this permit, this permit shall become null and void.

8. If any archaeological sites or artifacts are discovered during site excavation or construction activities, the applicant shall cease and desist from all further excavation and disturbances within one hundred (100) feet of the discovery, and make notification of the discovery to the Director of the Department of Planning and Building Services. The Director will coordinate further actions for the protection of the archaeological resources in accordance with Section 22.12.090 of the Mendocino County Code.
9. Following the recommendation of the Archaeological Commission regarding pier/piling development and the potential for historical resources, a historian shall determine which excavation and/or boring locations are sensitive and warrant the presence of a historian during the time of actual excavation/boring.
10. The following avoidance measures, based on the recommendation of the project biologist, shall be required conditions of approval for the project.
 - a. Avoidance During Construction – Areas where heavy equipment use, staging, or other construction impacts will occur within 100 feet of the Sitka willow riparian area and stream, shall include the placement of orange ESA fencing at the boundary of the established 50 foot buffer area where feasible, or as far from the Sitka willow riparian area as possible if a 50 buffer is not feasible. All project components, including the use of heavy equipment, staging, and other project impacts are to be limited to areas outside of the Sitka willow riparian area and stream buffer zone as delineated by placed orange ESA fencing. With the exception of the small drill rig, to be used to install one or two drilled piers on the southwest side of the main inn building, work within 50 feet of the Sitka willow riparian area and stream shall be accomplished by hand tools only, taking care not to allow materials or other debris to fall into the gulch. No materials storage or use of heavy equipment shall occur within the 50 foot buffer to the Sitka willow riparian area.
 - b. Special Status Frogs – Within two weeks prior to construction, surveys for California and northern red-legged frogs shall be conducted by a qualified biologist. Prior to commencement of construction, project contractors will be trained by a qualified biologist in the identification of the California and northern red-legged frog. Construction crews will begin each day with a visual search around all stacked or stored materials, as well as along any silt fences to detect the presence of frogs. If a California or northern red-legged frog is detected, construction crews will contact the US Fish and Wildlife Service (California red-legged frogs), California Department of Fish and Wildlife (northern red-legged frogs), or a qualified biologist, to provide clearance prior to reinitiating work.

If a rain event occurs during the construction period, all construction-related activities will cease for a period of 48 hours after the rain stops. Prior to resuming construction activities, trained construction crew member(s) will examine the site for the presence of frogs. If no northern red-legged frogs are found, construction activities may resume. The US Fish and Wildlife Service and the California Department of Fish and Wildlife should be consulted and should be in agreement with protective measures needed for these special status frogs.
11. The recommendations from Section 6.0 of the applicant's Geotechnical Investigation (Brunsing Associates, Inc., 2015) addressing Bluff Setbacks (Section 6.1), Site Grading (Section 6.2), Foundations (Section 6.3), Seismic Design (Section 6.5), Concrete Slabs-On-Grade (Section 6.5), and Site Drainage (Section 6.6) shall be required as conditions of approval for the project and shall be followed during all activities related to the repair and replacement of existing structures and construction of the new outdoor picnic/seating. Evidence shall be provided to PBS that a qualified professional has reviewed the construction drawings for consistency with the Geotechnical Investigation recommendations.
12. Prior to the issuance of the Coastal Development Permit, the applicant as landowner shall execute and record a deed restriction, in a form and content acceptable to the Coastal Permit Administrator and County Counsel, which shall provide that:

- a. The landowner understands that the site may be subject to extraordinary geologic and erosion hazards and the landowner assumes the risk from such hazards;
- b. The landowner agrees to indemnify and hold harmless the County of Mendocino, its successors in interest, advisors, officers, agents and employees against any and all claims, demands, damages, costs, and expenses of liability (including without limitation attorneys' fees and costs of the suit) arising out of the design, construction, operation, maintenance, existence or failure of the permitted project. Including, without limitation, all claims made by any individual or entity or arising out of any work performed in connection with the permitted project;
- c. The landowner agrees that any adverse impacts to the property caused by the permitted project shall be fully the responsibility of the applicant;
- d. The landowner shall not construct any bluff or shoreline protective devices to protect the subject structures (the Greenwood Inn, White House (Proprietor's Residence and Office), Cliff House Unit, North Sea Castle and South Sea Castle and associated decks and a boardwalk) or other improvements in the event that these structures are subject to damage, or other erosional hazards in the future;
- e. The landowner shall remove the subject structures when bluff retreat reaches the point where the structures are threatened. In the event that portions of the subject structures or other improvements associated with the subject structures fall to the beach or ocean before they can be removed from the blufftop, the landowner shall remove all recoverable debris associated with these structures from the beach and ocean and lawfully dispose of the material in an approved disposal site. The landowners shall bear all costs associated with such removal;

The document shall run with the land, bind all successors and assigns, and shall be recorded free of all prior liens and encumbrances, except for tax liens.

13. Prior to issuance of a building permit in reliance of this Coastal Development Permit, the applicant shall submit for approval by Planning and Building staff a drainage and erosion control plan. The plan shall detail erosion and sediment control Best Management Practices, including concrete wash out area, staging, stockpile locations, and tree protection areas, as necessary.